



PLANNING COMMISSION MEETING

April 14, 2016

1. **CALL TO ORDER**
2. **PLEDGE OF ALLEGIANCE**
3. **ROLL CALL**
4. **ADDITIONS TO OR DELETIONS FROM THE AGENDA**
5. **APPROVAL OF MINUTES**
March 24, 2016 Minutes
6. **CONSENT AGENDA**
THE ENCLAVE AT CHERRY CREEK FREESTANDING MONUMENT SIGN – Lot 1
Filing 1 Enclave Property Minor Development
Applicant: Nicole Vatrano, Schlosser Signs, Permit Technician
Location: 17565 Pine Lane
Planner: Mary Lockwood
7. **PUBLIC HEARING: MAINSTREET AND PINE MARKETPLACE LOT 3, 4th -**
AMENDMENT – Site Plan
Applicant: Town of Parker, Colorado
Location: Northwest corner of Mainstreet and Pine Drive
Department: Community Development, Ryan McGee
8. **PUBLIC HEARING: DRANSFELDT PLACE SUBDIVISION LOTS 8 AND 10 – Use by**
Special Review
Applicant: Todd Wright
Location: Generally located on the east side of Dransfeldt Road south of Lincoln Meadows Parkway
Department: Community Development, Ryan McGee
9. **PUBLIC HEARING: ORDINANCE NO. 3.01.109 - An Ordinance to Amend Sections 13.04.100**
and 13.04.120 of the Parker Municipal Code Concerning Assembly Uses
Applicant: Town of Parker
Department: Community Development, Ryan McGee
10. **PLANNING COMMISSION ITEMS**
11. **STAFF ITEMS**
12. **ADJOURNMENT**



**PLANNING COMMISSION MINUTES
March 24, 2016**

Chair Gary Poole called the meeting to order at 7:00 p.m.

Commissioner John Howe led the Planning Commission and audience in the Pledge of Allegiance.

Also, present were Commissioners Duane Hopkins and Sasha Levy. Commissioner Brent Bitz, Alternates Eliana Burke, Robert Moffitt and Kathleen Thayer were absent.

ADDITIONS TO OR DELETIONS FROM THE AGENDA

None

APPROVAL OF MINUTES

Commissioner John Howe moved to approve the February 25, 2016 minutes. Commissioner Sasha Levy seconded; a vote was taken and passed 4:0.

CONSENT AGENDA

A. CORPORATE PARK AT STONEGATE PLANNED SIGN PROGRAM -

Stonegate 27 Lot 1A-1 and Lot 1B-1 First Amendment

Applicant: Shantih Fouts, AD Light Sign, Permit Technician

Location: 15700 and 15690 Parkerhouse Road

Planner: Mary Lockwood

B. CHEROKEE TRAIL ELEMENTARY SCHOOL FREESTANDING

MONUMENT SIGN - Clarke Farms

Applicant: Steve Meier, Project Consultant of Architex

Location: 16990 Village Center Drive

Planner: Mary Lockwood

Commissioner John Howe moved to approve the Consent Agenda. Commissioner Duane Hopkins seconded; a vote was taken and passed 4:0.

**PUBLIC HEARING: OPENED: 7:03 P.M. : EASTMAIN –Planned Development
Guide Amendment**

Applicant: Town of Parker

Location: North of Mainstreet and west of Pine Lane

Planner: Carolyn Parkinson

Carolyn Parkinson, Planner, presented the staff report for the EastMain Planned Development Guide amendment. Ms. Parkinson concluded with the determinations in staff's report and recommended the Planning Commission recommend Town Council approve the EastMain Planned Development Guide amendment.

Commissioner John Howe discussed with staff the number of residential units planned for Area 3.

Ms. Parkinson said the concept plan may have 140 to 142 residential units.

APPLICANT PRESENTATION

Town staff presentation only

PUBLIC COMMENT OPENED

None

PUBLIC COMMENT CLOSED

PUBLIC HEARING: CLOSED: 7:08 P.M. EASTMAIN –Planned Development Guide Amendment

PLANNING COMMISSION DISCUSSION

Commissioner Duane Hopkins said the request is straight-forward and reasonable.

Commissioner Sasha Levy agreed. She said the request meets the nine criteria for approval and said she supports the request.

Commissioner John Howe agreed the request is straight-forward.

Chair Gary Poole concurred.

Commissioner John Howe moved that the Planning Commission recommend Town Council approve the EastMain Planned Development Guide Amendment. Commissioner Sasha Levy seconded; a vote was taken and passed 4:0.

PLANNING COMMISSION ITEMS

None

STAFF ITEMS

None

DRAFT

ADJOURNMENT

The meeting was adjourned at 7:09 p.m.

Rosemary Sietsema
Recording Secretary

Gary Poole
Chair



**Community Development Department Memorandum
Development Review Division**

To: Town of Parker Planning Commission

From: Mary Lockwood, Community Development Technician *ML*
Steve Greer, Deputy Community Development Director *SG*

Through: John Fussa, Community Development Director

Date: April 14, 2016

Regarding: Consent Agenda:
The Enclave at Cherry Creek Freestanding Monument Sign –Lot 1 Filing 1
Enclave Property Minor Development
[Application PSGN16-0032]

**Section I.
Subject & Proposal:**

Location: The Enclave at Cherry Creek, 17569 Pine Lane Parker CO 80134

Applicant: Nicole Vatrano, Representative

Proposal: The applicant is proposing to construct one 24-square-foot freestanding monument sign at the entrance of the Enclave at Cherry Creek.

**Section II.
Background:**

History: On July 24, 2014, the Planning Commission approved a site plan for the Enclave at Cherry Creek. The approved site plan is comprised of 285 multi-family residential units developed on 12.88 acres.

Section III. Analysis:

Conformance with the Town's Land Development Code:

The Town of Parker Land Development Code states that multi-family residential parcels may have one freestanding sign per subdivision entrance from an arterial road at a maximum height of eight feet. The maximum area per sign is 24-square-feet.

Freestanding signs must also be setback a minimum of 10 feet. The minimum setback measured from the nearest public right-of-way must be in accordance with the Town of Parker Roadway Design and Construction Criteria Manual.

The monument sign features a 12-inch deep aluminum cabinet painted with a two-inch deep frame painted Benjamin Moore 2146-60 Cream Silk and an inset panel painted Benjamin Moore 0C90 Vanilla Ice Cream. The sign features a decorative cherry branch print. White acrylic with dark gray vinyl faces spell out The Enclave at Cherry Creek with halo lumination. The address numbers are flat-cut-out aluminum painted Benjamin Moore 0C90 Vanilla Ice Cream, pin mounted on project stone. The project stone is mounted on an aluminum base painted in a Pantone Matching System 7534C Beige. The freestanding sign is 24-square-feet in total area. The freestanding monument sign meets the minimum setback requirement of 10 feet from the right-of-way.

Staff has reviewed the proposal and determined that the freestanding monument sign conforms to the minimum standards for signage of Section 13.09 of the Town's Land Development Code.

Section IV. Recommendation:

Staff recommends that the Planning Commission approve The Enclave at Cherry Creek freestanding monument sign subject to the following conditions:

1. The sign exhibits submitted to the Community Development Department on March 11, 2016, and reviewed by the Planning Commission on April 14, 2016, shall be the approved plans. **ANY ALTERATION, MODIFICATION, SUBSTITUTION, OR REVISION INCLUDING (BUT NOT LIMITED TO) COLORS, MATERIALS, OR PLACEMENT SHALL BE AT THE DISCRETION OF THE COMMUNITY DEVELOPMENT DIRECTOR, WHO RESERVES THE RIGHT TO REQUIRE SAID PROPOSED CHANGES TO BE REVIEWED AND APPROVED BY THE PLANNING COMMISSION.**
2. **A SIGN PERMIT IS REQUIRED.** This approval is for one freestanding monument sign within The Enclave at Cherry Creek. In addition to the sign application fee, a sign permit fee is also required for the sign. Failure to obtain a sign permit prior to any construction of the sign site is a violation of the Town of Parker Municipal Code and subject to enforcement and possibly the removal of any sign or work.

Section V.
Attachments:

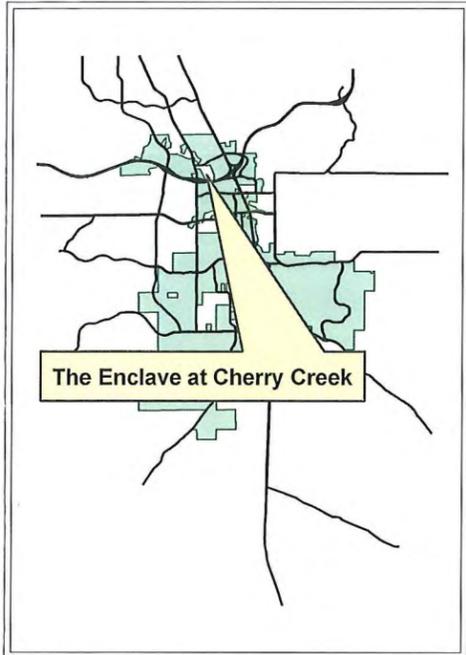
1. Vicinity Map
2. Freestanding Monument Sign Exhibit

Section VI.
Proposed Motion(s):

None required, approve as part of the Consent Agenda.

Or

"I move to approve The Enclave at Cherry Creek freestanding monument sign, subject to the two conditions listed in staff's report."



Legend

- Town Boundary
- Site
- Roads

Narrative:
 The applicant is proposing to construct one 24-square-foot freestanding monument sign within The Enclave at Cherry Creek.

Planner: Mary Lockwood
Hearing Schedules:
Planning Commission:
 April 14, 2016

The Enclave at Cherry Creek
 Enclave Filing# Lot 1
 Planned Sign Program

art FORM

SIGNS & LIGHTING

CLIENT: _____

Enclave Cherry Creek

LOCATION: _____

DATE: _____

11.6.15|1:11.16|2:1.13.16|3:1.27.16

Artwork Phase:

- Conceptual
- Design Development
- Revision
- Final Production
- Shop Drawing

The boxes below must be initialed and dated prior to manufacturing.

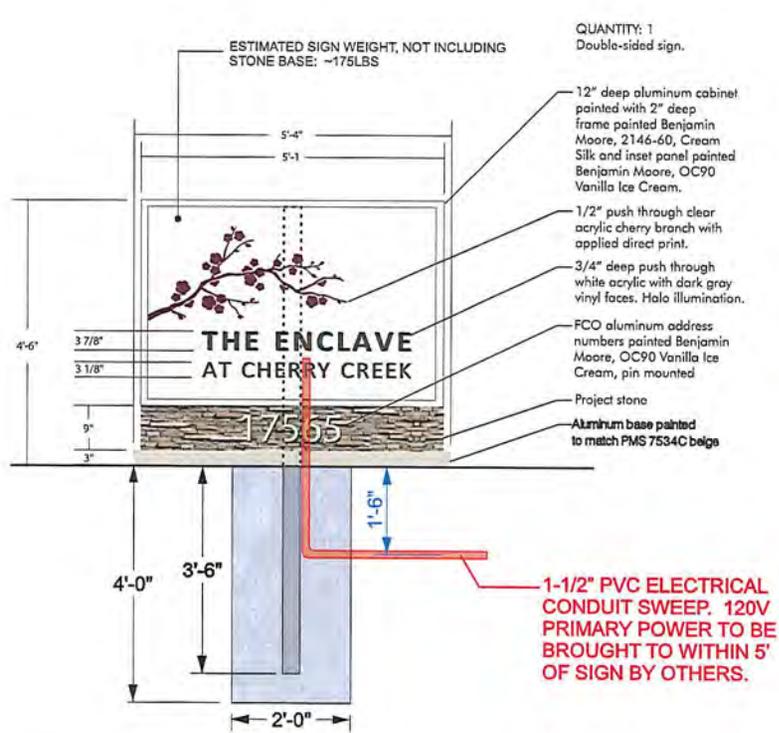
CLIENT APPROVAL: _____

DATE: _____

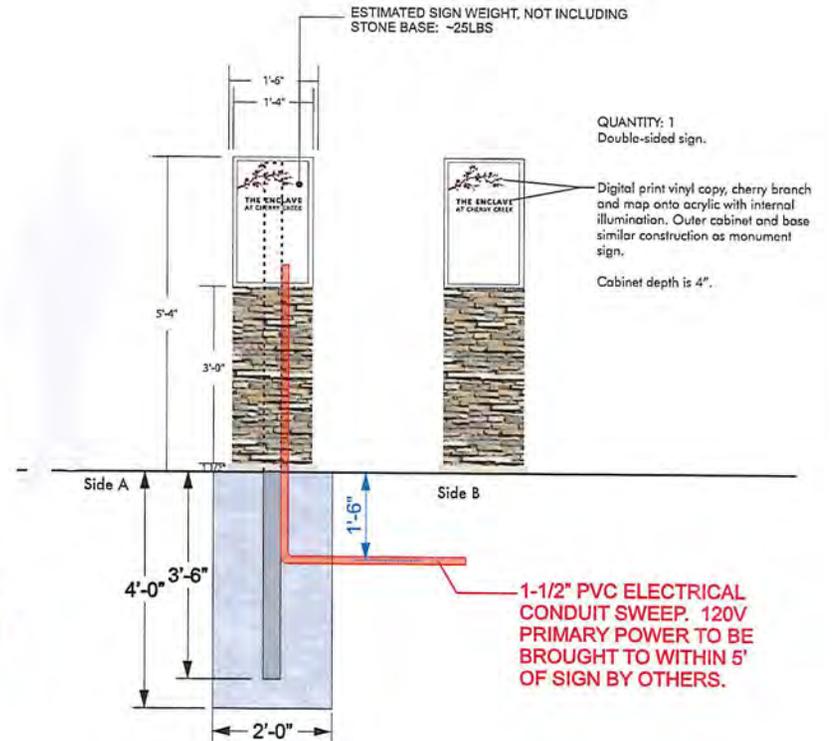
PROD. APPROVAL: _____

DATE: _____

This design is the property of Artform and is submitted for your use in conjunction with a project being planned for you by Artform. It cannot be reproduced either in whole or in part without their written consent.



MONUMENT SIGN - Front View
SCALE: 1/2" = 1'-0"



FREESTANDING MAP SIGN - Front View
SCALE: 1/2" = 1'-0"



**Community Development Department Memorandum
Development Review Division**

To: Town of Parker Planning Commission

From: Ryan McGee, Associate Planner *RM*
Steve Greer, Deputy Community Development Director *SG*

Through: John Fussa, Community Development Director

Date: April 14, 2016

Regarding: Public Hearing:
Mainstreet and Pine Marketplace Lot 3 Amendment 3 - Site Plan
[Case No. SP15-0026]

**Section I.
Subject & Proposal:**

Location: Northwest corner of Mainstreet and Pine Drive

Applicant: Town of Parker

Proposal: This project consists of a site plan to construct the Plaza on Main park. The 1.4 acre Town owned park will consist of a band shell building, an ice skating ribbon and a splash pad water feature. The park also features communal gathering areas, public art and a concessions building with restrooms. A pump building on the easterly portion of the park will house mechanical equipment associated with the splash pad interactive water feature and a garage space to store a Zamboni machine for resurfacing the ice skating ribbon.

**Section II.
Background:**

History: In 2014, the Town of Parker approved the EastMain Planned Development Guide for a four acre undeveloped parcel on the northwest corner of Mainstreet and Pine Drive. The Town of Parker and Douglas County Libraries have collaborated on the construction of a new library building and public park\plaza on the site.

The Town desires a private vertically mixed-use development on the westerly portion of the site which will interact with the library and park/plaza creating a unique and vibrant Parker destination.

Land Use Summary Data:

Total Area: 1.429 acres

Zoning: EastMain Planned Development (PD) First Amendment – Planning Area 2 – Park/Plaza Area

Existing Use: Douglas County Library is under construction on Lot 2 to the east. Lots 1 and 4 to the west and north are undeveloped.

Surrounding Zoning North: Pine Drive and a South Metro Fire and Rescue Authority

& Land Use:

East: Undeveloped property/Pine Curve (24 acre vacant parcel owned by the Town)

South: Mainstreet, Parker Town Hall Campus and the Parker Arts, Culture and Events (PACE) Center

West: Future Pace Center Drive and Town and Country Townhomes (Existing multi-family residential 501 units)

Section III.

Analysis:

EastMain Planned Development Guide:

Planning Area 2 of the EastMain Planned Development (PD) Guide sets forth development standards for land uses, setbacks, maximum building height and architectural design.

Planning Area 2 of the EastMain PD allows a maximum building height of 40 feet. The concession and pump buildings will be 10 feet in height. The pump building will be 14 feet in height with garage space to store a Zamboni machine for resurfacing the ice ribbon. The band shell building stage roof is 24 feet in height at its apex. None of the buildings in Planning Area 2 will exceed the maximum building height as set forth in Planning Area 2 of the EastMain PD.

On April 4, 2016, Town Council amended the EastMain PD to allow for administrative determination of minimum building setback requirements. The pump and band shell buildings are being buffered by landscaping, sidewalk/plaza area and the library parking lot. On the west and north the dual purpose refrigeration/band shell and concession buildings are being buffered by landscaping, sidewalk, curb bump-outs, parking spaces and Pace Center Drive. The south boundary of the site is comprised of a landscaped plaza, public art and interactive water feature.

Staff has determined that the setbacks for the pump, concession and band shell buildings are appropriate given the centralized location of the park and adjacent buffers.

The EastMain PD requires architectural design within the Planning Area 2 Park/Plaza Area to be complementary to existing and proposed facilities surrounding the park.

Dark Iron Spot Smooth Brick Veneer is proposed as the principal material/color for the band shell, pump house and concession buildings. The band shell and pump house buildings are accented with Champagne Bronze Perforated Metal Wall panels to screen roof-top and ground utilities and to accommodate Zamboni unloading operations. All three buildings within the park incorporate Romantic Walnut soffit planks on the underside of exterior cantilevered roofs.

The materials and colors proposed for the three park buildings are consistent with the materials and color palette of the PACE Center. The wood plank soffits proposed for the park buildings are similar to the wood plank soffits used at Parker Town Hall. The champagne color metal panel systems proposed as accents on the band shell and pump buildings are comparable to the champagne color metal panel system proposed as a primary exterior material on the library building.

Staff has determined that the site design requirements and architectural standards of the EastMain PD Guide have been satisfied.

Parking:

The Land Development Ordinance requires an administrative determination of parking requirements for outdoor recreational activity land uses such as the Plaza on Main Park. The park will most likely experience peak parking demand during special events such as festivals and/or concerts.

There are 42 parking spaces provided along Pace Center Drive to the immediate west of the park and 163 parking spaces in the library parking lot to the immediate east of the park. Additional public parking is planned for Lots 1 and 4 of the EastMain PD. To the west of the park along the north side of Mainstreet to Pine Drive are 17 parallel parking spaces. Along the south side of Mainstreet from Pine Drive to the east of Pace Center Drive are 29 parallel parking spaces. The Pace Center parking lot to the southwest of the park is within reasonable walking distance to the park and consists of 257 parking spaces.

There are nine bicycle racks proposed within the park that can accommodate two bicycles each.

Staff finds that the 508 parking spaces adjacent to and within reasonable walking distance of the park are adequate to meet the parking needs of the park.

Access and Circulation:

The EastMain PD prescribes standards for vehicular, pedestrian and bicycle circulation with an emphasis on safety and efficiency.

The intersection of Pace Center Drive and East Mainstreet will be a fully-signalized intersection. The intersection of Pace Center Drive and Pine Drive will be a right-in right-out vehicular intersection. Pace Center Drive will bisect the lots of the EastMain PD from north to south and connect East Mainstreet and Pine Drive. Pace Center Drive will be a two-way street with angled vehicular parking spaces on the east and west sides of the street. A raised pedestrian table crossing is proposed at the midblock of Pace Center Drive to connect the park to the mixed-use development planned for Lot 4. Pedestrians will be able to enter and exit the park from several points along the sidewalk and plaza spaces framing the park.

Landscaping:

The EastMain PD sets forth landscape design principles that create public spaces that are attractive, interesting and comfortable for pedestrians.

The streetscape landscaping along Mainstreet will transition from street trees and shrubs to seat walled landscape beds as it intersects with Pace Center Drive. The streetscape landscaping at the Pace Center Drive intersection with Mainstreet delineates the street from the pedestrian area with a uniform landscape character of planter beds, seat walls, trees and shrubs. Trees and shrubs line the entirety of Pace Center Drive and the park creating an attractive internal streetscape landscaping. The park buildings, pedestrian gathering areas and amenities are adequately buffered with trees, shrubs and landscape planter beds.

A total of 50 trees and 911 shrubs are proposed for the park which exceeds the Land Development Ordinance minimum landscape requirements. The park features a centralized lawn in front of the band shell stage where patrons can gather to enjoy entertainment. In the winter the concrete ribbon around the lawn will convert to an ice skating ribbon. The band shell stage will be flanked on both sides by vertically landscaped bar-grate walls.

The park plan proposes variations in planted and hardscape materials to create visual interest and a comfortable pedestrian environment. An oversized ball and jacks public art display is proposed on the southwest portion of the Plaza on Main Park and is intermixed with landscaped planter areas and benches. A splash pad is proposed on the southeast portion of the site with several seating areas surrounding the splash pad. Fireplaces with seating areas are positioned around the ice ribbon and plaza.

The EastMain PD landscape design principles and minimum landscape requirements of the Land Development Ordinance are met with the Plaza on Main park plan.

Lighting:

The street pedestrian pole lights proposed along Pace Center Drive match the town standard pedestrian poles and light heads that are currently in Parker's downtown area. At grade LED up-lighting is proposed for the ball and jacks sculpture. Step lighting is proposed in the permanent seat walls in the southerly plaza and in the seat walls around the ice ribbon. Recessed down lighting is proposed in the roof soffits of the concessions and pump buildings. Theatrical luminaries will be used during band shell performances. The lighting proposed in the park meets the lighting standards of the Land Development Ordinance.

Drainage, Grading & Erosion Control:

Stormwater runoff from the developed site will flow west and south to infrastructure that will direct water to the regional detention pond located between Town Hall and the Pace Center. The stormwater outfalls from the regional detention pond flow into Sulphur Gulch. The Plaza on Main Park development complies with the Town of Parker Storm Drainage and Environmental Criteria Manual and the standards of the Urban Drainage and Flood Control District.

The construction plan set includes notes and details associated with all 29 of Parker's Construction Management Best Practice measures and comply with the Town's Storm Drainage and Environmental Criteria Manual standards.

Signage:

No signage is being approved with the site plan. A separate sign permit submittal is required for signs.

Section IV.

Referral Agency Comments:

Below are the condensed versions of referral responses received from affected agencies:

Town of Parker Engineering Department:
Please provide signed and sealed conformance letter that includes drainage system flows.

Town of Parker Comprehensive Planning:
No comment

Town of Parker Economic Development:
No comment

Town of Parker IT:
No comment

Town of Parker Building Department:
Approved

Town of Parker Recreation Department:
No comment

Town of Parker Fire and Life Safety:
Approved

Town of Parker Police Department:
No comment

IREA:
No comment

Douglas County Planning:
No comment

Public Service Company of Colorado:

No comment

Centennial Airport:

No comment

Tri-County Health Department:

No comment

CDOT:

No comment

Urban Drainage and Flood Control:

No comment

RTD:

No comment

Cherry Creek Basin Water Quality Authority:

No comment

Town and County HOA:

No comment

Parker Water and Sanitation District:

Please address comments in March 14, 2016 letter as conditioned for approval.

Parker Vista HOA:

No comment

Douglas County School District:

No comment

US Post Office:

No comment

Douglas County Libraries:

No comment

Comcast:

No comment

Douglas County Assessor:

No comment

CenturyLink:

No comment

Town of Parker Parks and Recreation:

Approved

**Section V.
Recommendation:**

Staff recommends that the Planning Commission recommend that the Town Council approve the Mainstreet and Pine Marketplace Lot 3 Amendment 3 – Plaza on Main Park site plan subject to the four (4) conditions outlined in staff's report:

1. The site plans and landscape plans submitted to the Community Development Department on March 11, 2016, and reviewed by the Planning Commission on April 14, 2016 shall be the approved plans. **ANY ALTERATION, MODIFICATION, SUBSTITUTION, OR REVISION INCLUDING (BUT NOT LIMITED TO) COLORS, MATERIALS, BUILDING PLACEMENT, MASSING OR SITE ACCESS SHALL BE AT THE DISCRETION OF THE COMMUNITY DEVELOPMENT DIRECTOR, WHO RESERVES THE RIGHT TO REQUIRE SAID PROPOSED CHANGES TO BE REVIEWED AND APPROVED BY THE PLANNING COMMISSION.**

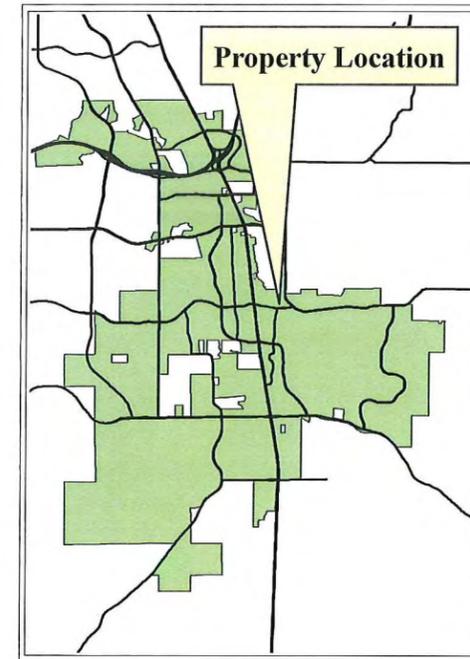
2. All items/issues identified in the Parker Water and Sanitation District's letter dated March 14, 2016 must be satisfied prior to the issuance of the site's grading permit.
3. **THIS APPROVAL SHALL EXPIRE SIX (6) MONTHS AFTER THE DATE OF APPROVAL UNLESS BUILDING PERMITS HAVE BEEN ISSUED AND CONSTRUCTION HAS COMMENCED.** The Community Development Director, upon written request, may grant a ninety-(90) day extension.
4. This approval **DOES NOT** include signage. A separate sign permit is required from the Community Development Department. The applicant shall also contact the Community Development Department regarding sign permit requirements.

Section VI.
Attachments:

1. Vicinity Map
2. Plaza on Main Park Site Plan Set
3. Referral Agency Comments

Section VII.
Proposed Motion(s):

"I move the Planning Commission recommend that the Town Council approve the Mainstreet and Pine Marketplace Lot 3 Amendment 3 Plaza on Main park site plan subject to the four (4) conditions outlined in staff's report."



Legend

-  Site
-  Town Boundary
-  Parcels

**Mainstreet and Pine Marketplace Lot 3
Amendment 3 -
Site Plan - Planning Case
No. SP15-0026**

**Planner: Ryan McGee
PC Date: April 14, 2016
TC Date: April 18, 2016**

**Mainstreet and Pine Marketplace
Plaza on Main Park Site Plan**

**AndersonMasonDale
Architects**

THE PLAZA ON MAIN

NARRATIVE

The Town of Parker is building a new 1.4 acre public park and plaza next to the new Douglas County Library and across the street from the PACE Center at the corner of Mainstreet and North Pine Drive. The principal concept of "The Plaza on Main" is to be a four-season destination and compliment to this burgeoning cultural district. The park gracefully intertwines a large water feature and splash pad fountain, a 350 foot-long ice skating ribbon, an outdoor band shell intended for all-season performances, and a multitude of trees, plantings, seat walls and benches. Three new strick, contemporary yet timeless pavilions will support these programs. The material palette will be rich and durable, employing dark ironspot brick veneer, high density plank soffits, decorative concrete, and glass. The park will also be home to a newly commissioned public art project. Total project costs are approximately \$9 million. Construction will begin in spring 2016. The park will be open for skaters by fall of 2016.

SHEET INDEX:

- 1 SITE PLAN
- 2 PLANTING PLAN
- 3 CONCESSION BUILDING ELEVATIONS
- 4 PUMP BUILDING ELEVATIONS
- 5 BAND SHELL ELEVATIONS
- 6 BAND SHELL ELEVATIONS
- 7 SITE LIGHTING PLAN
- 8 SITE PHOTOMETRIC PLAN

SITE PLAN SUBMITTAL

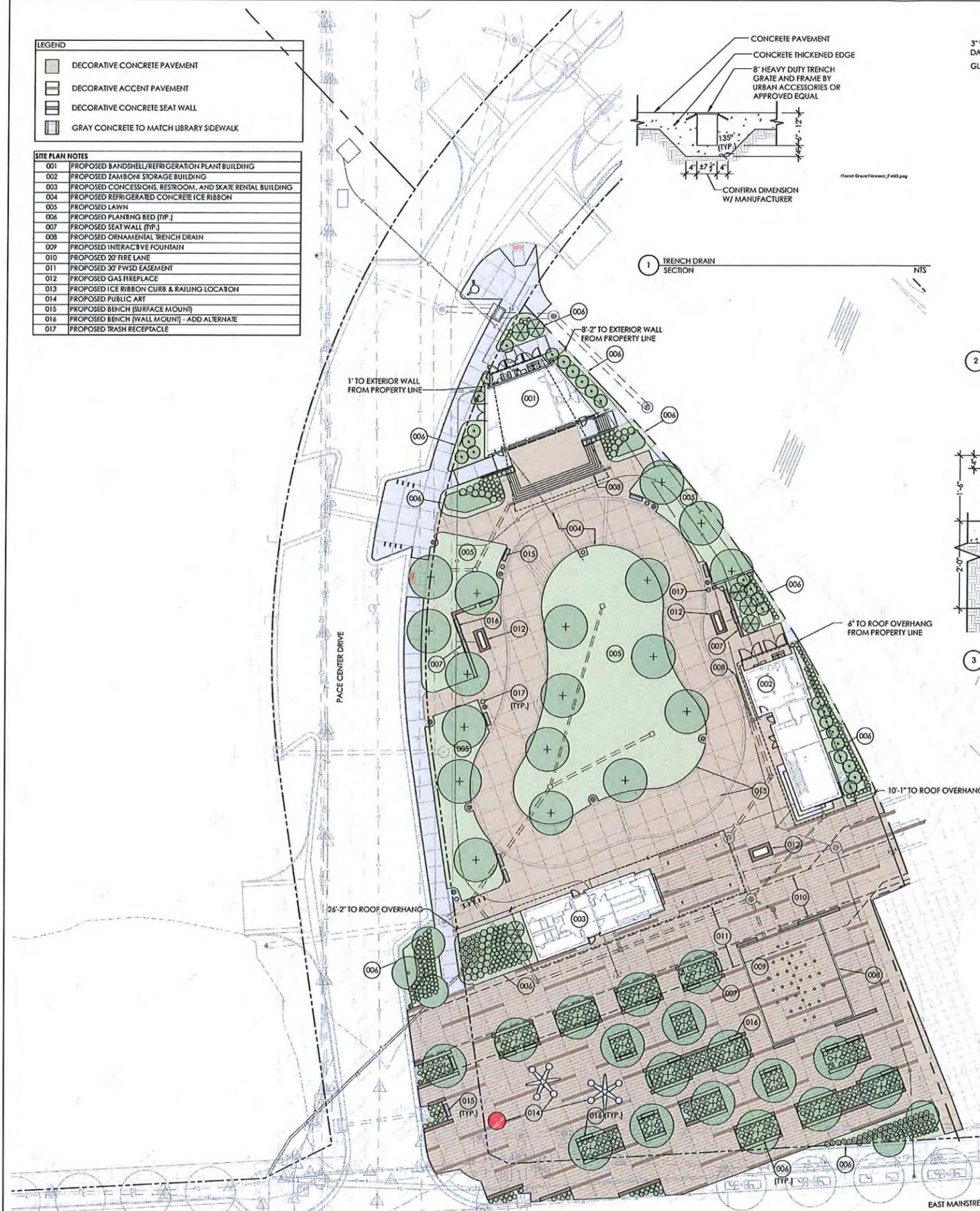
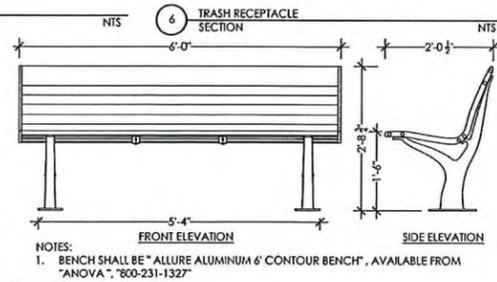
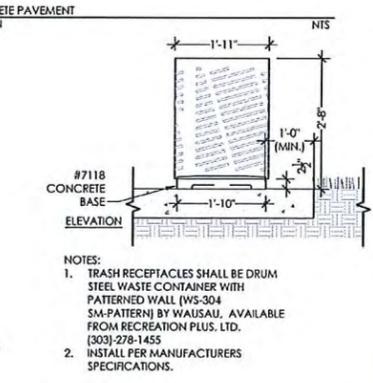
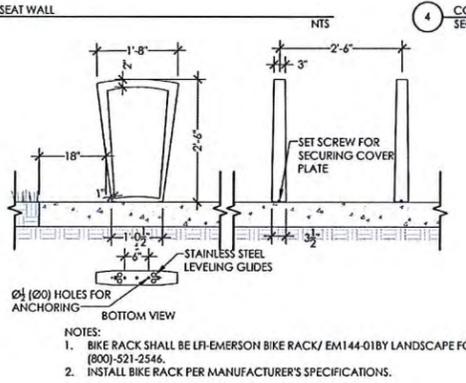
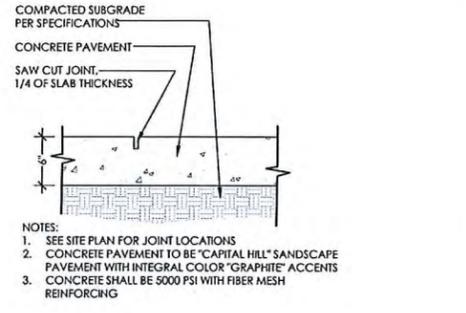
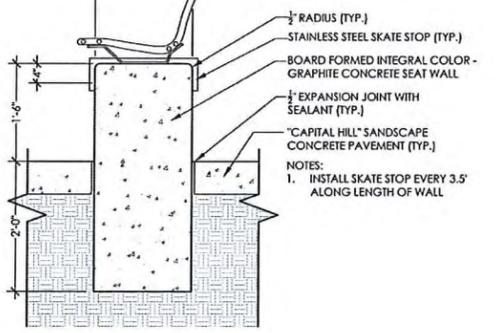
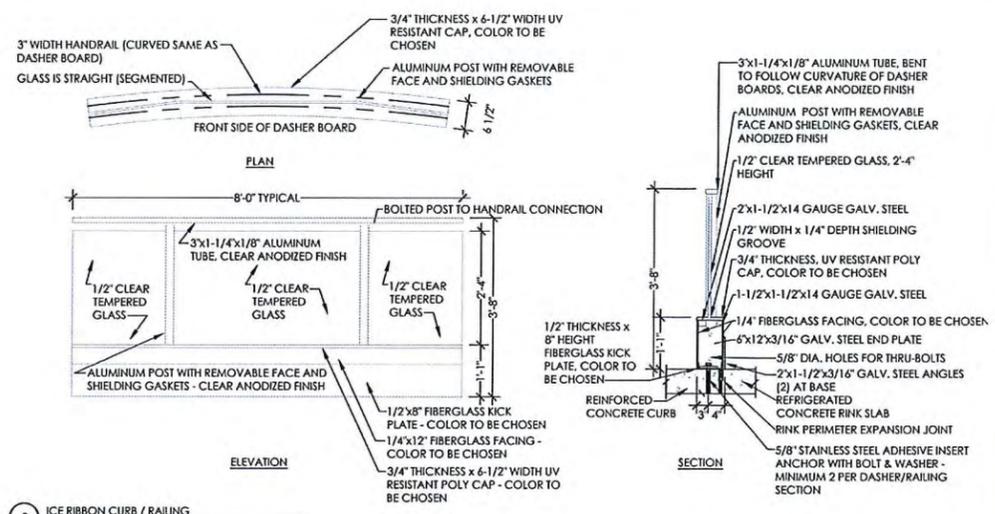
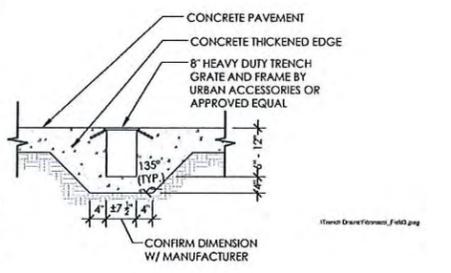
SITE PLAN SUBMITTAL APRIL 1, 2016

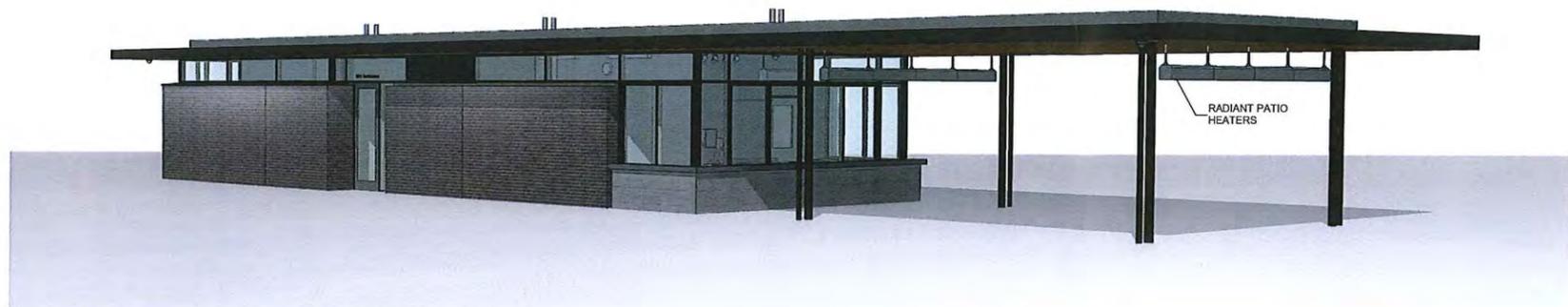
LEGEND

	DECORATIVE CONCRETE PAVEMENT
	DECORATIVE ACCENT PAVEMENT
	DECORATIVE CONCRETE SEAT WALL
	GRAY CONCRETE TO MATCH LIBRARY SIDEWALK

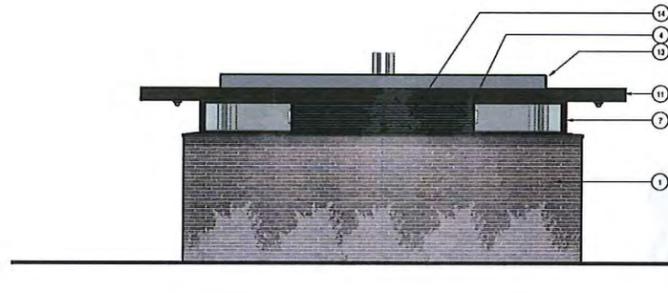
SITE PLAN NOTES

001	PROPOSED BANDSHELL/REFRIGERATION PLANT BUILDING
002	PROPOSED TAMBONI STORAGE BUILDING
003	PROPOSED CONCESSIONS, RESTROOM, AND SKATE RENTAL BUILDING
004	PROPOSED REFRIGERATED CONCRETE ICE RIBBON
005	PROPOSED LAWN
006	PROPOSED PLANNING BED (TYP.)
007	PROPOSED SEAT WALL (TYP.)
008	PROPOSED ORNAMENTAL TRENCH DRAIN
009	PROPOSED INTERACTIVE FOUNTAIN
010	PROPOSED 20' FIRE LANE
011	PROPOSED 30' PWSD EASEMENT
012	PROPOSED GAS FIREPLACE
013	PROPOSED ICE RIBBON CURB & RAILING LOCATION
014	PROPOSED PUBLIC ART
015	PROPOSED BENCH (SURFACE MOUNT)
016	PROPOSED BENCH (WALL MOUNT) - ADD ALTERNATE
017	PROPOSED TRASH RECEPTACLE

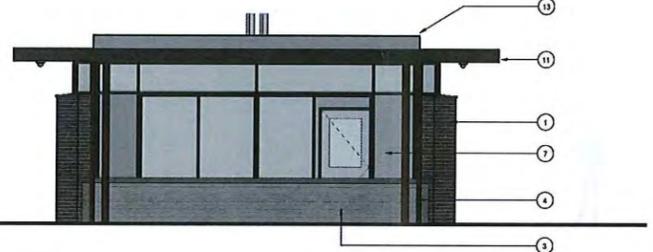




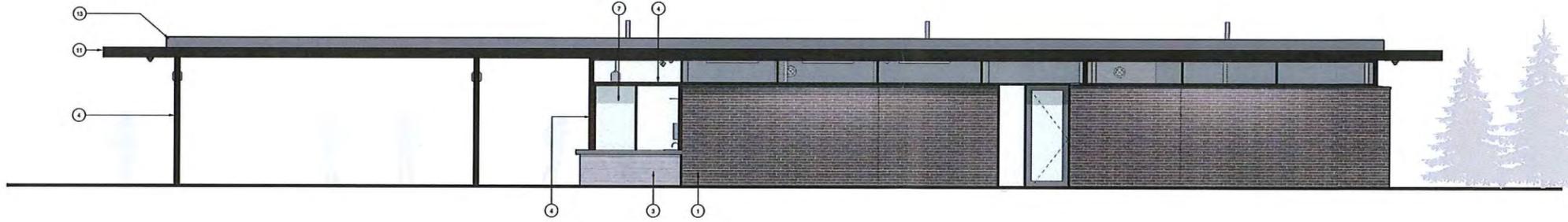
- FINISH LEGEND**
- 1 Brick Veneer Masonry - Norman Modified 1/3 Running Bond. Dark Iron Spot Smooth with Dark Grey Grout
 - 2 Ground Face CMU - 8" x 16" block 530X Colorado
 - 3 Board Formed Concrete
 - 4 Dark Bronze Aluminum Storefront and Trim Dark Bronze High Performance Coating at Columns, Copings and Frames
 - 5 Champagne Gold High Performance Coating at HOLLOW Metal Doors
 - 6 Solid Phenolic Panel (Trespa Meteor) - Titanium Silver
 - 7 Clear Glazing - 1" Insulated Unit
 - 8 Aluminum Bar Grate (Planting Trellis)
 - 10 Perforated Pre-formed Metal Wall Panel Champagne Gold
 - 11 Solid Phenolic Panel Fascia (Trespa Meteor) - Black
 - 12 Solid Phenolic Plank Soffit - (Trespa Pura) - "Romantic Walnut"
 - 13 Grey TPO Roofing with Color Match Alum. Flashing
 - 14 Mechanical Louver, Dark Bronze Matches Storefront
 - 15 Illuminated Signage with Owner Provided Graphics



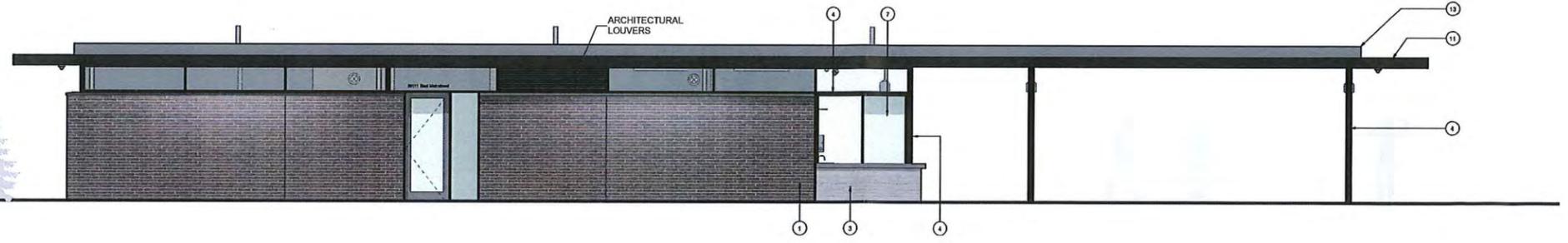
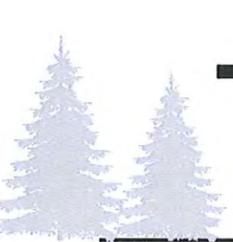
CONCESSION - WEST ELEVATION
1/4" = 1'-0"
W 3



CONCESSION - EAST ELEVATION
1/4" = 1'-0"
E 3



CONCESSION - NORTH ELEVATION
1/4" = 1'-0"
N 3



CONCESSION - SOUTH ELEVATION
1/4" = 1'-0"
S 3

AndersonMasonDale Architects

The Plaza on Main
20115 East Mainstreet
Parker, CO 80138

Owner
The Town of Parker
20100 East Mainstreet
Parker, Colorado 80138-7355
Telephone: 303-805-3159

Architect
AndersonMasonDale Architects, P.C.
3198 Speer Boulevard
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FAX: 303-384-9910

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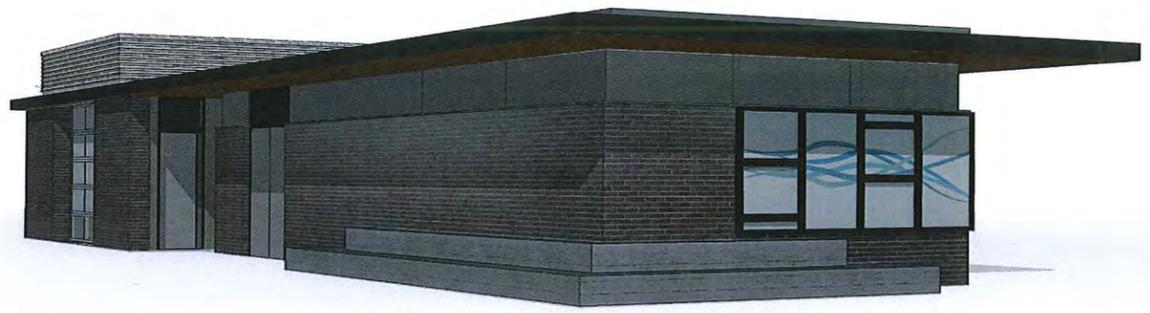
Site Lighting
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Arvada, CO 80007
Telephone: 303-278-7297
FAX: 303-278-9009

Technology and Security
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FAX: 719-533-1113

Issue Date
SITE PLAN SUBMITTAL APRIL 1, 2016

Project Number: 15-075
Drawn By: AND
Reviewed By: JT
Approved By: DP

CONCESSION - EXTERIOR ELEVATIONS



- FINISH LEGEND**
- 1 Brick Veneer Masonry - Norman Modified 1/3 Running Bond. Dark Iron Spot Smooth with Dark Grey Grout
 - 2 Ground Face CMU - 8" x 16" block 530X Colorado
 - 3 Bourd Formed Concrete
 - 4 Dark Bronze Aluminum Storefront and Trim Dark Bronze High Performance Coating at Columns, Copings and Frames
 - 5 Champagne Gold High Performance Coating at Hollow Metal Doors
 - 6 Solid Phenolic Panel (Trespa Meteor) - Titanium Silver
 - 7 Clear Glazing - 1" Insulated Unit
 - 8 Aluminum Bar Grate (Planting Trellis)
 - 9 Perforated Pre-formed Metal Wall Panel Champagne Gold
 - 10 Solid Phenolic Panel Fascia (Trespa Meteor) - Black
 - 11 Solid Phenolic Plank Soffit - (Trespa Pura) - "Romantic Walnut"
 - 12 Grey TPO Roofing with Color Match Alum. Flashing
 - 13 Mechanical Louver, Dark Bronze Malches Storefront
 - 14 Illuminated Signage with Owner Provided Graphics

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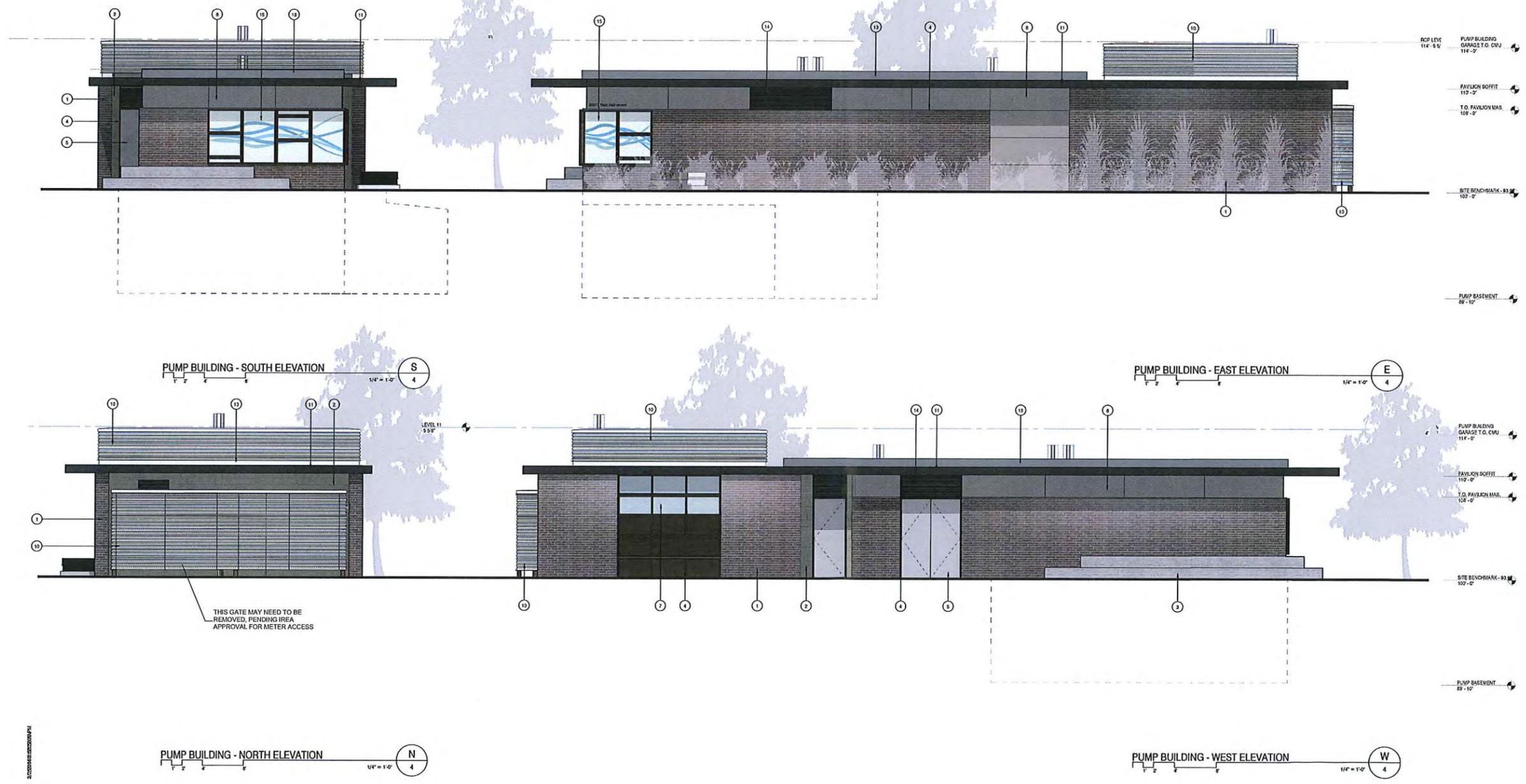
Site Lighting
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Telephone: 303-278-7297
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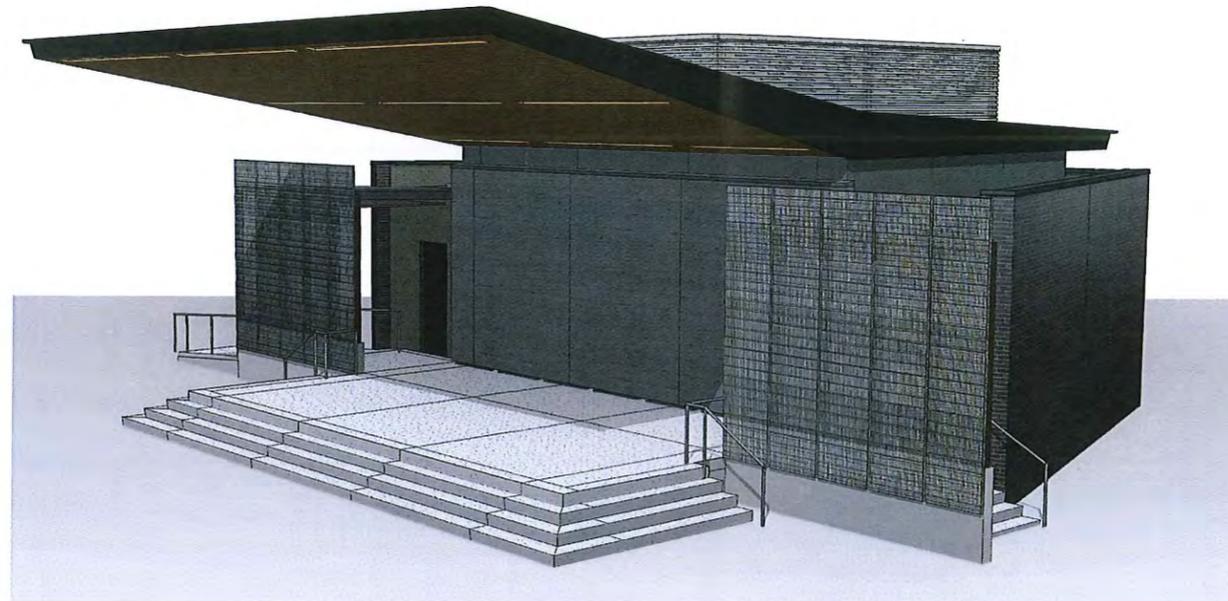
Technology and Security
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10627 New Adairance Drive Suite 400
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Issue: SITE PLAN SUBMITTAL Date: APRIL 1, 2016

Project Number: 15-075
Drawn By: AV/D
Reviewed By: JT
Approved By: DP

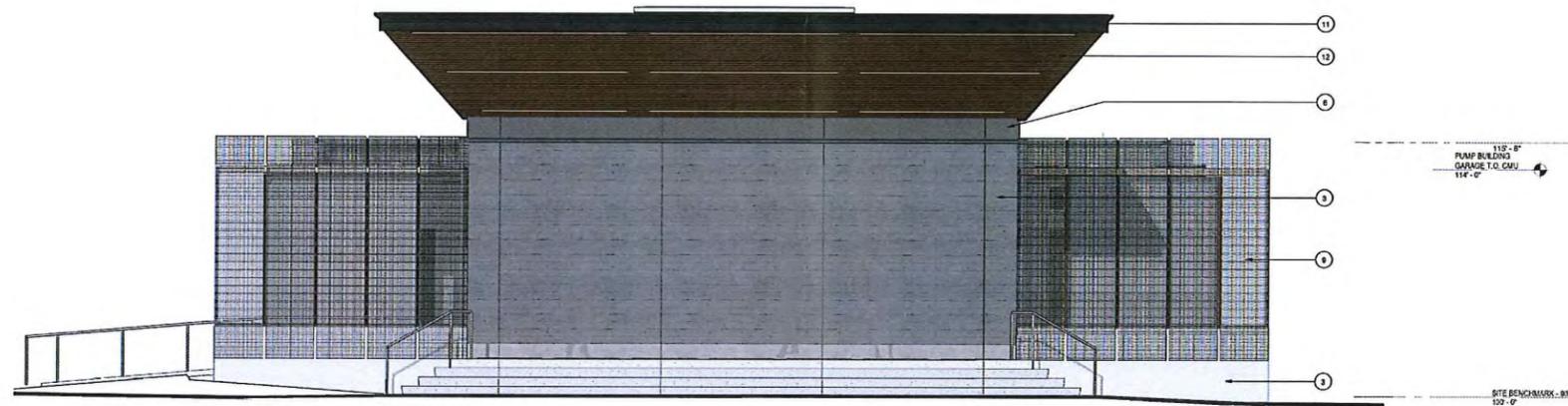
PUMP BUILDING - EXTERIOR ELEVATIONS



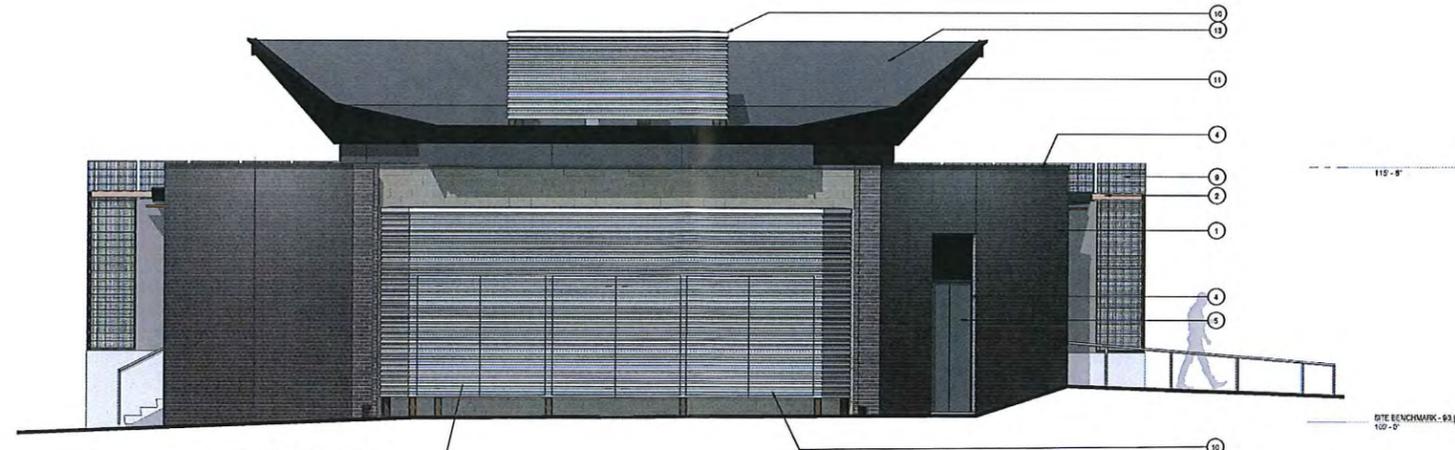


FINISH LEGEND

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BAND SHELL - SOUTH ELEVATION
1/4" = 1'-0" S



BAND SHELL - NORTH ELEVATION
1/4" = 1'-0" N

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Issue Date
SITE PLAN SUBMITTAL APRIL 1, 2015

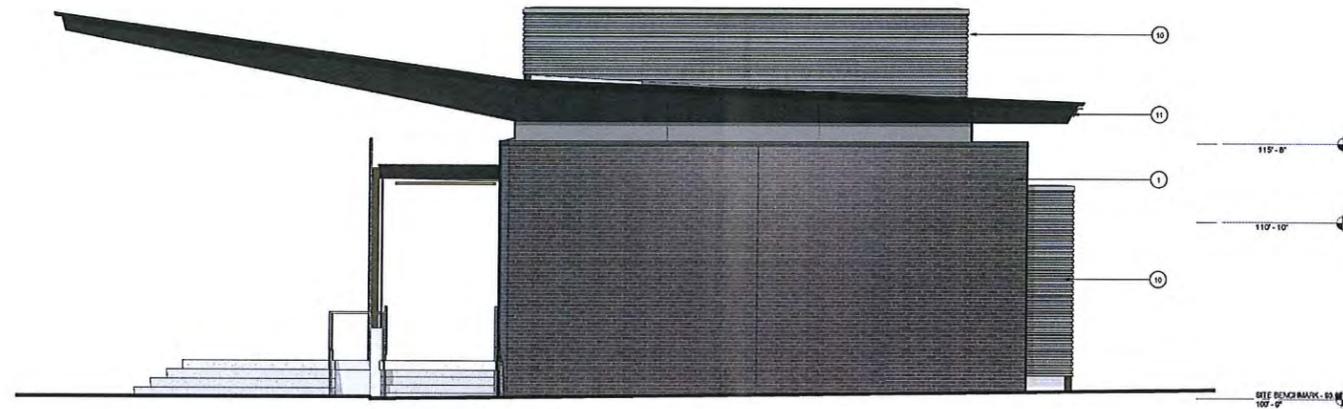
Project Number: 15-075
Drawn By: AND
Reviewed By: JT
Approved By: DP

BAND SHELL - EXTERIOR ELEVATIONS

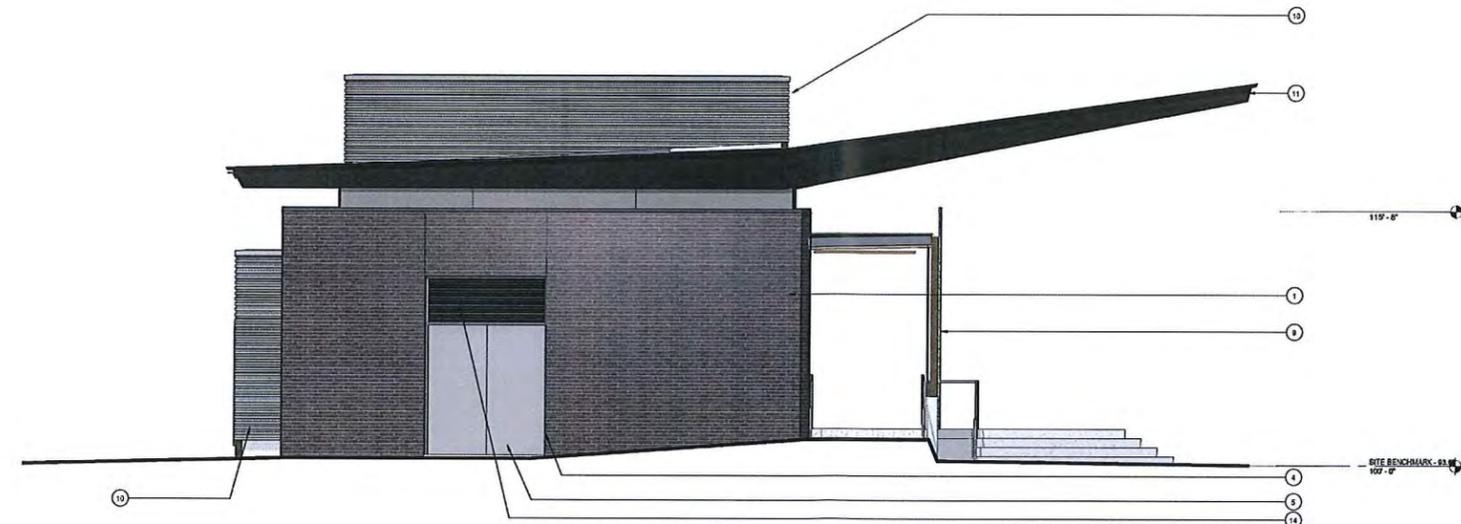


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BAND SHELL - EAST ELEVATION
1/4" = 1'-0"
E
8



BAND SHELL - WEST ELEVATION
1/4" = 1'-0"
W
6

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Issue Date
SITE PLAN SUBMITTAL APRIL 1, 2016

Project Number: 15-075
Drawn By: AVO
Reviewed By: JT
Approved By: DP

BAND SHELL - EXTERIOR ELEVATIONS

SITE PLAN GENERAL NOTES

All wiring shall be in compliance with the NEC 2014 edition. All multi-wire branch circuits (MWBC) single phase circuit shall be in the panel schedule engineering from single pole breaker shall be installed with a dedicated neutral conductor for each phase conductor. The neutral conductor shall have a three stripe (the stripe color shall match the color of the phase conductor).

Refer to the electrical specifications for additional installation, conduit depths, and specification requirements. All electrical work shall be installed in accordance to the most current local codes and the 2014 NEC.

All underground conduit shall be PVC and a minimum of 30' below finished grade. All above and in-line, to four feet above grade, shall be rigid steel conduit, PVC coated where installed below grade.

All Underground Electrical Feeder and Branch Circuits shall be installed a minimum of 30 inches below grade with Branch Electrical Wiring. Tapes installed directly above between 6 and 12 inches below grade. All underground conduit shall be PVC. All elbow and tees, to four feet above grade, shall be rigid steel conduit, PVC coated where installed below grade. Contractor shall provide pull boxes as required to minimize the number of bends to meet code. Contractor shall coordinate all underground routing and placement with other adjacent utilities. Conduit runs can be utilized with a minimum spacing of 6 inches on compacted fill between conduit and other utility lines or pipes.

All Site Electrical Device locations shall be coordinated with the Landscape Architect prior to rough-in to determine typical installation requirements, locations in relation to the site landscape and civil elements. Refer to landscape plans for exact locations, pole lights, and signage luminaires. Locations are coordinated with site walks, soil walls, planting beds, and trees.

All Exterior Building Mounted Luminaires Refer to the Architectural Reflected Ceiling Plans for dimensions and layout of building mounted luminaires. Refer to landscape plans for exact locations of pedestrian poles. Locations are coordinated with site walks and concrete paving and pole bases need to be integrated with site walk, paving. For the Type FF and FF1 pole luminaires, anchor bolt placement needs to be coordinated with the orientation of the poles. The luminaire heads on the poles need to be oriented to face inward toward the ice ribbon and the anchor bolts need to be placed accordingly to achieve this.

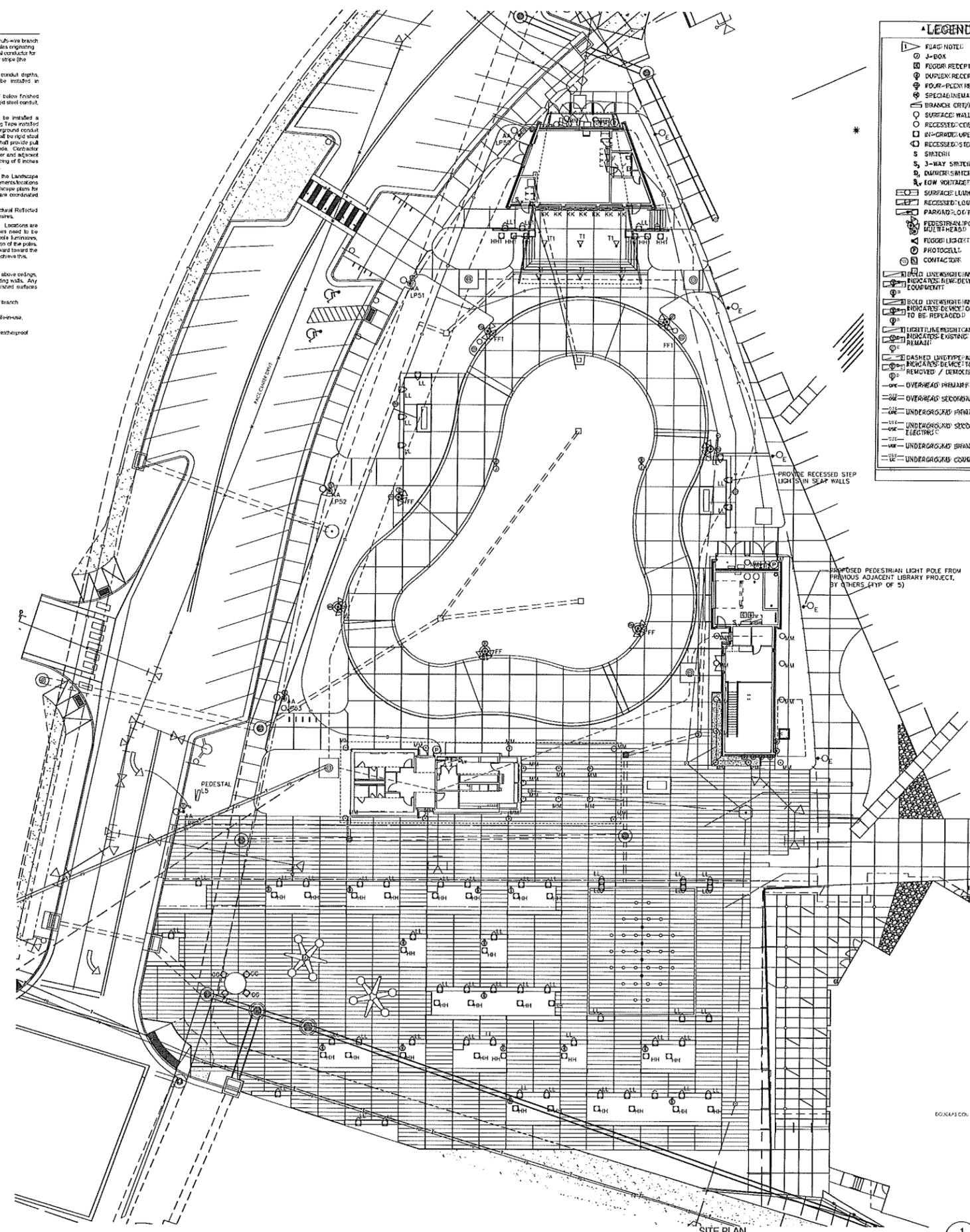
Underground conduit is indicated with dashed URE circuitry.

Route all conduits in finished spaces concealed in walls, above ceiling, or below floor. All conduits shall be run parallel to building walls. Any surface mounted conduit in finished spaces or mounted on finished surfaces shall be painted to match the surface on which it is mounted.

All new circuits shall have grounding conductors in all feeders and branch circuits.

For all weather proof receptacle covers provide cast aluminum, white-onion, breakable, weatherproof type covers, Hubbell/SP series.

All exterior receptacles shall be GFI protected devices and have a weatherproof covers as noted above.



LEGEND

⊙	FLAG NOTE
⊕	4-BOX
⊖	PIGTAIL RECEPTACLE
⊗	DUPLEX RECEPTACLE
⊘	FOUR-POLE RECEPTACLE
⊙	SPECIAL LUMINAIRE RECEPTACLE
⊖	BRANCH CIRC./RECK./PANEL
⊙	SURFACE WALL LIGHT
⊙	RECESSED CEILING LIGHT
⊙	40-GRADE UP LIGHT
⊙	RECESSED STEEL LIGHT
S	SWITCH
S	3-WAY SWITCH
S	4-WAY SWITCH
S	LOW VOLTAGE SWITCH
⊖	SURFACE LUMINAIRE
⊖	RECESSED LUMINAIRE
⊖	PARKING LOT POLE LIGHT
⊖	PEDESTAL POLE LIGHT
⊖	40-GRADE UP LIGHT
⊖	RECESSED LIGHT
⊖	PHOTOCELL
⊖	CONTACTOR
---	FIELD UNDERGROUND OR "CN" "1"
---	INDICATES DEVICE OR EQUIPMENT
---	TO BE REPLACED
---	LIBERT LINE DESIGN AND/OR "B"
---	INDICATES EXISTING DEVICE OR EQUIPMENT
---	REMOVED / DEMOLISHED
---	DASHED UNDERGROUND OR "CN" "1"
---	INDICATES DEVICE TO BE RE-
---	REMOVED / DEMOLISHED
---	OVERHEAD PRIMARY ELECTRIC
---	OVERHEAD SECONDARY ELECTRICAL
---	UNDERGROUND PRIMARY ELECTRIC
---	UNDERGROUND SECONDARY ELECTRICAL
---	UNDERGROUND BRANCH ELECTRICAL
---	UNDERGROUND CONDUIT BAND

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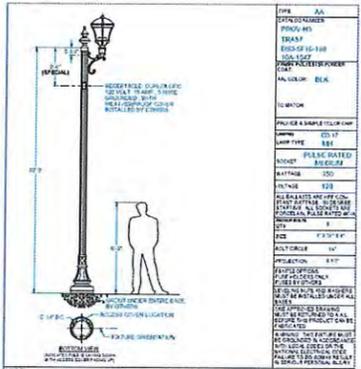
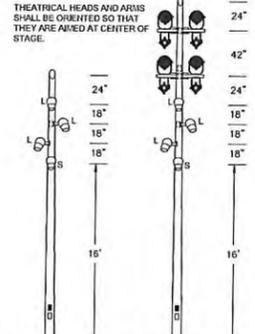
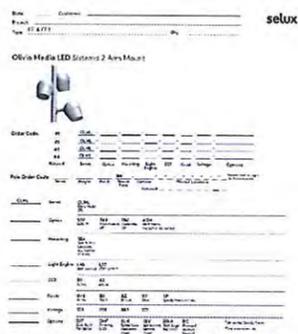
Issue Date
SITE PLAN SUBMITTAL APRIL 1, 2016

Project Number: 00-000
Drawn By: HFR
Reviewed By: HFR
Approved By: HFR/AD

SITE LIGHTING PLAN

Label	Symbol	Qty	Arrangement	L/F	Lum. Lumens	Lum. Watts	Description
AA	○	8	SINGLE	0.750	7606	185	AAL-PROV-H3-150MH
GG	○	10	SINGLE	0.900	1500	15	WEEF-F11-324F
FF	○	14	SINGLE	0.900	2838	44.038	Selux-OLML-F80-L46-30-120-SL
FF1	○	7	SINGLE	0.900	2838	44.038	Selux-OLML-F80-L46-30-120-SL
HH	○	34	SINGLE	0.900	569	14.39	Hydrel-PDX7 12LED CLWHO MFL
JJ	○	7	SINGLE	0.900	1297	20	Lithonia-DSXV1 LED 10C 530 30K T35 MVOLT
KK	○	7	SINGLE	0.900	1614	27.59	Lumina-LOI HD 24V 24-40K-WY-NO-PRELIINARY
LL	○	54	SINGLE	0.900	492	11	Wilson-STEP13-124-30K-ND120V
MM	○	28	SINGLE	0.900	1260	26.4	Gotham-EVO 35_14 4ARLD VLD 120
T1	○	6	SINGLE	0.900	4991	90	Ooram-KREIOS FLX_C_IES_23ac69a3-40e
(E) LIBRARY FRONT	○	5	SINGLE	0.900	3723	35	Lithonia-DSXV LED 20C 530 40K T25 MVOLT
(E) STREET	○	1	SINGLE	0.750	16568	295	AAL-PROV-H3-250MH
(E1) LIBRARY FRONT	○	19	SINGLE	0.900	1839	27.36	Lithonia-EVO 41_18 6AR 120
FN FOUNTAIN LT	○	30	SINGLE	0.900	971	19.17	Fontain-PDX10 16LED WHTSKFL

Calculation Summary	CalcType	Units	Avg	Max	Min	Arg/ft	Max/ft
Overall Site	Illuminance	Fc	1.21	9.5	0.0	N.A.	N.A.
Scale Loop +3	Illuminance	Fc	3.11	8.5	0.8	3.89	10.63
Scale Ribbon	Illuminance	Fc	2.93	8.5	0.8	3.66	10.63



TYPE FF, FF1 - PEDESTRIAN POLES:
CONTEMPORARY DECORATIVE POLE MOUNTED LUMINAIRE, LED LAMPING, WIDE FLOOD DISTRIBUTION, 3500K, APPROX 22.5' TALL POLE WITH UP TO 4 HEADS PER POLE (RANKING BY HEIGHT FROM 18" TO 21.5" AT 18" INCREMENTS (3 LED LIGHT HEADS, ONE SPEAKER HEAD)). SELUX - OLYVIO MEDIO SISTEMA LED, WIDE FLOOD OPTICS.

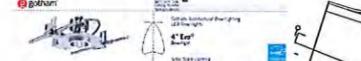
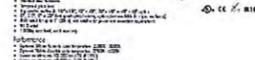
TYPE T1 - THEATRICAL LUMINAIRE:
TRUSS AND PIPE MOUNTED ADJUSTABLE OUTDOOR THEATRICAL LUMINAIRE TO LIGHT STAGE. TO BE USED ONLY DURING PERFORMANCES. PHILIPS OR EQUAL.

TYPE AA - STREET PEDESTRIAN POLES:
TOWN STANDARD PEDESTRIAN POLE, DECORATIVE HEAD, 150V METAL HALIDE LAMPING, TYPE 3 DISTRIBUTION, 16' TALL POLE WITH SIDE ARM MOUNT LUMINAIRE AAL - PROV-H3-TRAS7-DB3-5F16

TYPE GG - SCULPTURE UPLIGHT:
FLUSH WITH GRADE MOUNTED LED UPLIGHT, 360 DEGREE ROTATION, 30 DEG TILT, MEDIUM FLOOD DISTRIBUTION WITH LINEAR SPREAD LENS, INTERNAL, 14W LED, 3000K. WEEF - ETC330-611-3226 + 611-8038 OR EQUAL.

TYPE KK - INGRADE UPLIGHT:
STAGE MOUNTED LINEAR LED UPLIGHT, WET LOCATION, GRAZE WALL, 4' LENGTHS AVAILABLE, 3500K, 0-10V DRL. LUMENPULSE - HYBRIND LUMEN FACADE OR EQUAL.

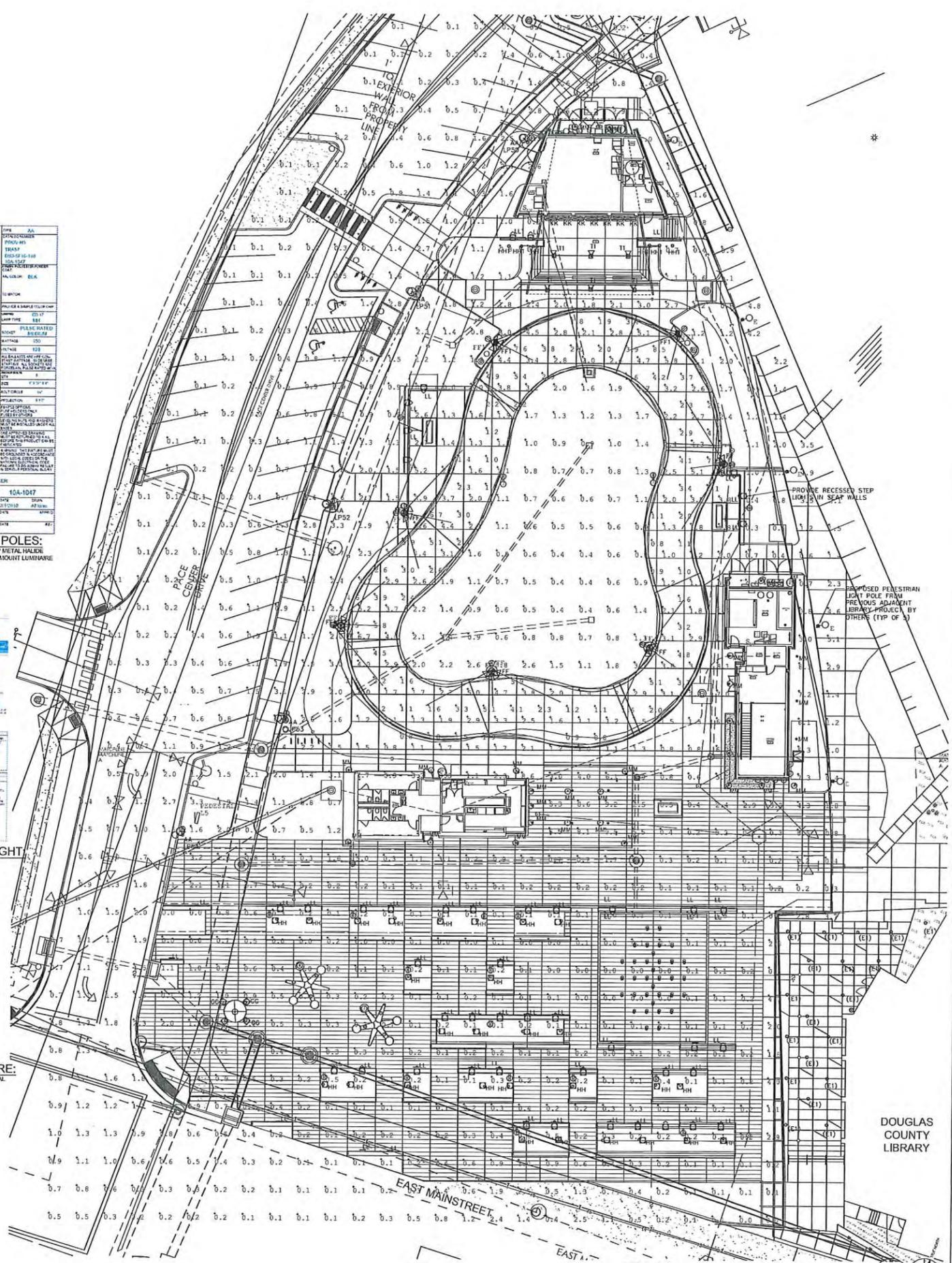
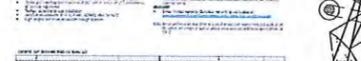
TYPE MM - RECESSED DOWN LIGHT:
RECESSED SMALL APERTURE, 4" ROUND, LED DOWN LIGHT, WHITE DIFFUSE LIGHT SOURCE, CLEAR, MATTE DIFFUSE REFLECTOR, 1600 LUMENS, 4000K. GOTHAM EVO 50 4" OR EQUAL.



TYPE HH & HH1 - TREE UPLIGHT:
GRADE MOUNTED LED UPLIGHT, FIXED ARMING, INTERNAL, HEXCELL COVER, 12W LED, 4000K. HYDREL - PDX7 OR EQUAL.

TYPE LL & LL1 - STEP LIGHT:
STEP LIGHT, RECESSED IN SEAT WALL, DOWN LIGHT DISTRIBUTION, 3500K. WIKONIA - STEP OR EQUAL.

TYPE T1 - THEATRICAL LUMINAIRE:
TRUSS AND PIPE MOUNTED ADJUSTABLE OUTDOOR THEATRICAL LUMINAIRE TO LIGHT STAGE. TO BE USED ONLY DURING PERFORMANCES. PHILIPS OR EQUAL.



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Issue Date
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SITE PHOTOMETRIC PLAN

March 14, 2016

Mr. Ryan McGee
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Re: Mainstreet & Pine Marketplace AMD2 L3 #SP15-0026
Park/Plaza
Site Plan 3rd Referral
PWSD Project #2015-038

Dear Mr. McGee:

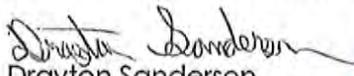
Thank you for forwarding the referral request for the above mentioned project. After a review of the documents submitted, the Parker Water & Sanitation District has the following comments:

- The 12" storm line, the Northern part of the Spray Garden and the proposed trees encroaching into PWSD's 30' easement will need to have a license agreement (LIC agreement is attached in Etrakit).
- As requested in the previous comment letter curb stop valves must be called out at the edge of the easement line for each proposed water service line in the Overall Utility Plan and the Plan and Profile sheets. Fitting bends as called out in the plans on sheet 4 Construction Notes are not necessary for the 1 ½" and 1" service lines, the copper can deflect without fittings.
- Please callout in the Overall Utility Plan and Plan and Profile sheets 4' concrete knockouts for all water service curb stop valves placed in concrete.
- On sheet 5 and 6 PWSD does not allow sanitary sewer service lines to be called out above potable water lines like the proposed spray garden piping. Please revise plans to show the sanitary sewer service lines running under the spray garden lines encasement may be necessary.
- Please callout double cleanouts on each sanitary sewer service line before it enters each structure.
- On sheets 3, 5 and 6 please callout SMH 01 as, "private sanitary sewer". Please add a note to plans that states the SMH 01 cover shall be marked, Private Sanitary Sewer.
- Please note, all sanitary sewer service lines are private. The owner is responsible for all maintenance and repairs on sanitary sewer service lines.
- Please add water details sheets, **43, 51 and 67**
- Tap fees, engineering fees (\$2,000.00 minimum), and irrigation inspection fees will be required to be paid before PWSD plan approval. Invoice will be generated once we receive the building addresses.

- Submit the plumbing plans for the building(s) and water feature for verification and calculation of tap size (include engineer's fixture count worksheet). The District uses the 2009 IPC for sizing water taps.
- Mylars for signature shall be submitted to PWSD for final signature once above comments have been addressed.
- On the next referral please submit a formal response letter addressing the above comments.

Please let us know if you have any question on the above comments. We look forward to the final submittal on this project.

Sincerely,
Parker Water & Sanitation District


Drayton Sanderson
Engineering Technician

PWSD



CENTENNIAL AIRPORT
ARAPAHOE COUNTY PUBLIC AIRPORT AUTHORITY

7800 South Peoria Street, Unit G1
Englewood, Colorado 80112
main: 303.790.0598
fax: 303.790.2129
www.centennialairport.com

March 14, 2016

Mr. Ryan McGee
Town of Parker, Colorado Community Development Department
20120 East Mainstreet
Parker, CO 80138

Re: MAINSTREET AND PINE MARKETPLACE; SP15-0026.

Dear Mr. McGee,

Thank you for the opportunity to review the Site Plan. We have the following comments to make on the project:

- The proposed development lies approximately 5.3 miles from the nearest runway at Centennial Airport and near the Airport Influence Area (AIA). This location will be subjected to numerous aircraft overflights and their associated effects. These effects include, but are not limited to: noise, smoke, dust, fumes and vibrations. An avigation easement is recommended for development within the AIA.
- Any objects on the site (including cranes used during construction) that penetrate a 100:1 slope from the nearest point of the nearest runway will require filing and approval of FAA Form 7460-1. This form may take 90 days or more for approval. <https://oecaa.faa.gov> for more information and to file FAA Form 7460-1. **Please note that this is a State and Federal regulatory requirement.** Runway endpoint data is available from the Airport for engineering calculations.

Please feel free to call me if you have any questions.

Sincerely,

Aaron Repp
Noise & Environmental Specialist



Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: 303.571.3306
Facsimile: 303. 571.3524
donna.l.george@xcelenergy.com

February 9, 2016

Town of Parker Community Development Department
20120 E. Mainstreet
Parker, CO 80138

Attn: Ryan McGee

Re: Mainstreet and Pine Marketplace AMD2 L3 - 2nd referral, Case # SP15-0026

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the second referral plans for **Mainstreet and Pine Marketplace AMD2 L3**. The property owner/developer/contractor must contact the **Builder's Call Line at 1-800-628-2121** and complete the application process for any new gas service or modification to existing facilities. This includes the existing gas main located within the Mainstreet right-of-way, which PSCo requests be shown on the plans. It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details. Additional easements may need to be acquired by separate document for new facilities.

As a safety precaution, PSCo would like to remind the developer to call the **Utility Notification Center, at 1-800-922-1987** to have all utilities located prior to any construction.

If you have any questions about this referral response, please contact me at (303) 571-3306.

Donna George
Contract Right of Way Referral Processor
Public Service Company of Colorado



February 3, 2016

Ryan McGee
Town of Parker
Community Development Department
20120 East Mainstreet
Parker, CO 80138

RE: Mainstreet and Pine Marketplace AMD2 L3
Case No. SP15-0026
TCHD Case No. 3776

Dear Mr. McGee:

Thank you for the opportunity to review and comment on the Site Plan for Mainstreet and Pine Marketplace located west of a proposed Douglas County Library site and east of the proposed Pace Center Drive. Tri-County Health Department (TCHD) staff has reviewed the application for compliance with applicable public and environmental health regulations and principles of healthy community design. After reviewing the application, TCHD has the following comments.

Community Design for Physical Activity

Because chronic diseases related to physical inactivity and obesity now rank among the country's greatest public health risks, TCHD encourages community designs that make it easy for people to include regular physical activity, such as walking and bicycling, in their daily routines. At the project site level, TCHD encourages applicants to incorporate pedestrian and bicycle amenities that support the use of a broader pedestrian and bicycle network.

TCHD commends the applicant for proposing an ice rink as it will provide opportunities for physical activity.

Sun Safety

Skin cancer is the most common cancer in the United States. Colorado has the 5th highest death rate from melanoma, the most deadly form of skin cancer. A leading risk factor for skin cancer is exposure to ultraviolet rays (UV) from the sun. Seeking shade when outside is one of the best ways to prevent overexposure to UV rays. Early incorporation of sun safety concepts into the design optimizes the opportunity for patrons and employees to shield themselves from the sun and reduce their risk of skin cancer.

TCHD commends the applicant for including shade structures in their plan.

Mainstreet and Pine Marketplace AMD2 L3, SP15-0026
February 3, 2016
Page 2 of 2

Food Service

The applicant indicates that there will be a concession stand on the site. Plans for all new and remodeled retail food establishments must be reviewed by Tri-County Health Department (TCHD) for compliance with Colorado Retail Food Establishment Rules and Regulations and approved by the Department before start of construction. We recommend that the Town of Parker require the plan review and approval be completed before issuing a building permit. The applicant shall call TCHD's Plan Review Hotline, at our Administrative Office at (303) 846-6230, regarding requirements for and scheduling a plan review. Instructions for opening a retail food establishment can be found on line at TCHD's web site at http://www.tchd.org/pdfs/how_to_open_food_est.pdf.

Please feel free to contact me at (720) 200-1585 or lbroten@tchd.org if you have any questions regarding TCHD's comments.

Sincerely,



Laurel Broten, MPH
Land Use and Built Environment Specialist
Tri-County Health Department

CC: Sheila Lynch, Keith Homersham, TCHD



**Community Development Department Memorandum
Development Review Division**

To: Town of Parker Planning Commission

From: Ryan McGee, Associate Planner *RM*
Steve Greer, Deputy Community Development Director *SG*

Through: John Fussa, Community Development Director

Date: April 14, 2016

Regarding: Public Hearing: Dransfeldt Place Subdivision Lots 8 and 10 Use by Special Review [Planning Case File No. Z16-004]

**Section I.
Subject & Proposal:**

Location: Generally located on the east side of Dransfeldt Road south of Lincoln Meadows Parkway

Applicant: Todd Wright

Proposal: A Use by Special Review (UbSR) request to allow a mini-storage warehouse on Lot 8 and an indoor recreational vehicle storage facility on Lot 10 of the Dransfeldt Place Subdivision.

**Section II.
Background:**

History: This vacant and undeveloped parcel of land was annexed and zoned into the Town of Parker in 2008. A one-story ranch home with an attached garage was recently removed from the property.

Land Use Summary Data:

Total Area: 17.177 acres (748,203 sq. ft.)

Zoning: Dransfeldt Place Planned Development (PD)

Existing Use: Vacant and undeveloped

**Surrounding Zoning
& Land Use:**

- North: Lincoln Meadows Planned Development (PD), Town of Parker Police Station, Lowes
- East: Light Industrial (LI), Arrowhead Auto-Sport pre-owned vehicle sales, Enterprise Car Rental, Auto Repair
- South: Clarke Farms Planned Development (PD), Oralabs, Alpine Lumber
- West: Clarke Farms PD and Lincoln Meadows PD, Pine Lane Nursery, Vacant and undeveloped land

**Section III.
Analysis:**

Conformance with Land Development Ordinance:

The applicant has submitted a Minor Development Plat application to subdivide the 17.177 acre parcel into ten lots with private roads and two vehicular access points off Dransfeldt Road. The Dransfeldt Place Minor Development Plat is under review for compliance with the Land Development Ordinance. Lot 8 is the northeasterly lot and fronts Dransfeldt Road. Lot 10 is the northwesterly lot of the Dransfeldt Place Minor Development Plat.

On April 6, 2015, Town Council approved Ordinance No. 3.312 suspending applications for the development and construction of mini-warehouses, outdoor storage and related uses. The ordinance stated that any applicant that held a pre-application meeting with the Town on a specific property in advance of the April 6, 2015 suspension would be allowed to continue through the process and is required to submit all necessary applications by a date certain to maintain this exemption. The applicant qualifies under the exemption with this submittal as one of the required applications necessary for the use. On December 14, 2015, Town Council approved an ordinance extending the suspension and exemption to April 6, 2016. On March 7, 2016, Town Council approved Ordinance No. 3.321 extending the suspension and exemption again to September 7, 2016.

The applicant will be required to submit separate site plan applications for the mini-storage warehouse on Lot 8 and the indoor recreational vehicle storage facility on Lot 10. Site plan submittals will be reviewed for compliance with the Land Development Ordinance by September 7, 2016.

The Dransfeldt Place PD and Development Guide allow mini-storage warehouses, including recreational vehicle storage as a Use by Special Review.

Characteristics of Use:

Mini-storage warehouse and indoor recreational vehicle storage land uses can be characterized as inactive and low intensity in character. Patrons renting mini-storage warehouse space typically visit the units on an occasional basis. The indoor recreational vehicle storage facility will be a kiosk based storage facility with secured gate access. The applicant's narrative proposes off-site concierge services to customers renting indoor storage spaces for recreational vehicles. Storage land uses do not generate over-intense vehicular traffic, noise, dust, fumes or odors.

Parking:

The Land Development Ordinance requires one parking space per 10,000-square-foot of gross floor area of mini-storage.

The 103,450 square foot mini-storage warehouse proposed for Lot 8 will require a minimum of 10 parking spaces.

The recreational vehicle storage facility will have a parking area near the south entrance of the facility which will accommodate 16 full-length truck and camper parking spaces for recreational vehicles awaiting concierge services and eight parking spaces for standard sized vehicles. Recreational vehicles that are not scheduled for concierge services will be kept in their leased storage garage(s).

Parking will be reviewed for compliance with the Land Development Ordinance with the site plan submittals for the developments.

Utilities:

Parker Water and Sanitation District, Xcel Energy and IREA will provide utility service to the development.

Major Roads, Access and Circulation:

The applicant has submitted a Minor Development Plat application to subdivide the 17.177 acre parcel into 10 lots with internally looped private roads and two vehicular access points off Dransfeldt Road.

Pedestrian and vehicular access and circulation will be reviewed for compliance with the Land Development Ordinance with the Site Plan submittals for the developments.

Section IV.
Additional Staff Findings:

The Town of Parker Land Development Code, §13.04.200(b) specifies nine criteria to be used in evaluating Use By Special Review requests. If the proposed use meets these criteria or can meet them subject to reasonable mitigation conditions the use may be approved.

1. Will be in harmony and compatible with the character of the surrounding areas and neighborhood;

Applicant analysis and findings:

Lot 8

The surrounding area is light industrial mixed-use property. The properties directly to the west are a vacant lot and a lot with construction equipment and maintenance buildings. The nearest neighbor to the south is a large steel building. The proposed indoor climate controlled storage will be along Dransfeldt Road so the building design is similar in nature to the Parker Police building. The design is a multi-level building with significant curb appeal, staying with a theme that the adjoining Parker Police building started.

The site is planned with parking that exceeds the required spaces per square footage of building area. The site will be developed to accommodate access for entry and exiting the site by both customers and delivery vehicles. The business entrance will be off the main private roadway within the business park development itself so as not to cause congestion on Dransfeldt Road. There will be large oversized driveways to allow for delivery by larger trucks and tow trailers.

Lot 10

The surrounding area is light industrial mixed-use property. The properties directly to the west are a vacant lot and a lot with construction equipment and maintenance buildings. The nearest neighbor to the south is a large steel building. The proposed Lot 10 use will improve the look and feel of the surrounding properties. There will be a decorative façade on the exterior of the buildings bringing an upscale look to the surrounding properties. Lot 10 provides local owners of high-end RVs a well-built location to protect their investments. Customers will store their RV's and other items inside of fully-enclosed garages or under canopy storage units. RV storage is a very low traffic impact. We anticipate less than 30 entrance and 30 exits from our facility on any given day. The entrance to the facility will be off the private roadways within the business park itself. The entrance to the facility will be well away from the main entrance to the business park off Dransfeldt Road and therefore traffic on Dransfeldt Road will be minimally impacted and will not pose any issues or congestion to the Town's current infrastructure. The storage of RV's will not create undo noise, dust or odors to surrounding properties. The function of RV storage is quiet and environmentally friendly since all storage will be indoors or under the roof. The business will employ two to four full-time employees.

Employees will rent storage spaces to customers and assist customers in storing their RV's and other items in rented units. They will also sell concierge services and when needed they will retrieve stored RV's from garages and park them in our concierge services holding area pending pickup by outside contractors who will perform services at off-site locations.

Staff analysis and findings:

The proposed mini-storage warehouse and indoor recreational vehicle storage facility uses are in harmony with the surrounding light industrial area and land uses. Land uses within the immediate vicinity of this parcel consist of the Town of Parker Police Station, light-industrial office and warehouse space, an outdoor plant and tree nursery and auto service/repair.

The mini-storage warehouse and indoor recreational vehicle storage facility can be characterized as passive land uses that will have minimal impacts to surrounding areas. The mini-storage warehouse and indoor recreational vehicle storage facility will be compatible with the surrounding neighborhood land use character.

2. Will be consistent with the Town Master Plan;

Applicant analysis and findings:

Lot 8

This use aligns with multiple goals of the 2035 Master Plan as it is currently written. This project brings the opportunities for jobs, revenue and better utilization of the property. Within the Town's master plan this is light industrial zone and these uses are compatible.

Lot 10

This use aligns with multiple goals of the 2035 Master Plan as it is currently written. This project brings the opportunities for jobs, revenue and better utilization of the property. We are providing a destination for luxury RV owners to provision and service their vehicles locally before leaving on trips. Within the Town's master plan this is light industrial zone and these uses are compatible.

Staff analysis and findings:

This parcel is located within the Light Industrial District as identified in the Town's 2035 Master Plan. The Light Industrial District is intended to provide a location for a variety of work processes and identifies storage land uses as uses that can be located within the District. The proposed mini-storage warehouse and indoor recreational vehicle storage use is consistent with the Town's 2035 Master Plan.

3. Will not result in an over-intensive use of land;

Applicant analysis and findings:

Lot 8

The proposed climate controlled multi-level total building footprint will be approximately 33,105 square-feet. The total floor space of all three floors will be approximately 103,450 square-feet yielding a Floor Area Ratio (FAR) of approximately 1.3 for Lot 8.

Lot 10

The intended use will not result in an over intensive use of the land. Storage of RV's in garages and under covered canopies is a very low-density use of the property. RV owners need ample space to maneuver inside the facility. The site provides wide drive aisles and turning radius that will meet and exceed our local fire department recommendations, standards and codes. The use of the land is significantly lighter than alternative uses for this type of property. The garage/indoor large storage use will be approx. 154,000 square-feet yielding a FAR ratio of .49 for lot 10. Employee and visitor parking will be accommodated by using a portion of the designed concierge parking area. The facility will feature amenities such as a black water dump station/air and vacuum equipment for customer use. These amenities will be located in the convenience station area of the site.

Staff analysis and findings:

Mini-storage warehouse and indoor recreational vehicle storage facilities can be characterized as passive and low-intensity in character with patrons visiting their units on an occasional basis. Adequate parking is being provided on both sites and the storage land uses will not be over-intensive in character.

4. Will not have a material adverse effect on community capital improvement programs;

Applicant analysis and findings:

Lot 8

Lot 8 will have limited infrastructure. The indoor climate-controlled business is a light footprint on the community and will not adversely impact capital improvement programs.

Lot 10

Lot 10 will also have limited use of utilities, police and fire. We are contributing a significant amount of funds to widen Dransfeldt Road helping to remove the current southbound bottleneck. Long term the Dransfeldt Road widening project will help the Town with traffic flow.

Staff analysis and findings:

The proposed mini-storage warehouse and indoor recreational vehicle storage facility will not have an adverse impact on capital improvement programs because the uses will be located on privately owned property. Development associated with the property will be required to construct roadway and drainage improvements in accordance with Town standards to support the proposed land uses.

5. Will not require a level of community facilities and services greater than that which is available;

Applicant analysis and findings:

Lot 8

Self-storage is not a high-traffic business. Customers infrequently visit the property. This facility is a low crime, non-hazardous location for owners to store their valuables. The appeal of this location is enhanced by its location next to the Parker Police Station. Customers will not actively work on site, so there is a very low risk of user-induced hazards, such as medical or fire emergencies. Therefore, there will be very little additional demand placed on existing community facilities and services.

Lot 10

Lot 10 garage storage will be a well-lit and secure facility. It has extremely low crime and very little demands from the local community. Customers are not allowed to work on their vehicles in the garages, minimizing the impact of emergency services.

Staff analysis and findings:

The passive land use character of the mini-storage warehouse and the indoor recreational vehicle storage facility will not trigger a need for additional community facilities or services greater than that which is available.

6. Will not result in undue traffic congestion or traffic hazards;

Applicant analysis and findings:

Lot 8

Mini-storage use is a light traffic use compared to most light industrial/commercial uses. The site is planned with parking that exceeds the required spaces and provides convenient traffic flows within the site. The entrance is from a private road, not Dransfeldt as to prevent congestion impacting the major arteries. Storage centers of this type and size typically generate on average 116 trips per day (58 in and 58 out) and on average 136 trips (68 in and out) on weekends. The active period of use is typically between the hours of 11-4 Mon-Fri as well as 10-3 on weekends. This low volume of traffic can easily be accommodated by the roadways within the business park development.

Lot 10

The traffic studies have been completed and do not show significant traffic impact. The typical RV user will take one to two trips per month over the summer months and less than one trip per month over the winter. The average trips per day for a boat and RV site of this size will be less than 64 (32 in and 32 out) daily trips including employee visits. The site does not have full-time employees on premises, thus the traffic impacts are extremely light. The design will have a staging area inside the front of the facility for customer vehicles that are preparing for trips, or cleaning up after returning. Traffic visits in the summer to the facility peak on Friday early afternoon and again Sunday evening. During the winter there are rarely visitors to the site.

Staff analysis and findings:

The proposed mini-storage warehouse and indoor recreational vehicle storage will not impose undue traffic congestion or hazards on Parker roads as the uses are passive and inactive in character with patrons only occasionally visiting the storage units.

7. Will not cause significant air, water or noise pollution;

Applicant analysis and findings:

Lot 8

Mini-storage does not generate significant air, water or noise pollution. The use is a non-manufacturing use. The majority of the traffic will be day-time traffic and the impact to the environment is extremely light.

Lot 10

This is a low impact use on the land. The infrequent RV pickup and drop-offs generally occur in daylight hours and are not a significant noise concern. No manufacturing or use detrimental to the environmental will be allowed. The site will have an underground septic tank, brown water rinse, and a vacuum station for customer use. This station will be entirely self-contained and pumped regularly.

Staff analysis and findings:

The mini-storage warehouse units will be used to store personal property and will likely only occasionally be visited by customers. The storage units will not contain equipment that generates air, water or noise pollution into the surrounding area.

The indoor recreational vehicle storage facility will have a recreational vehicle sewage dump and underground septic tank system and vacuum station for customer use. The proposed septic system will have to be consistently emptied and maintained in order to avoid ground water pollution.

8. Will be adequately landscaped, buffered and screened; and

Applicant analysis and findings:

Lot 8

The self-storage buildings are designed to include appealing exteriors with large windows and facades to enhance their aesthetic appeal. The building will have a very open airy look and feel. The site will include an adequate amount of exterior landscaping including plants, shrubs and trees. The future site plan will meet or exceed the Town's guidelines for landscape buffering.

Lot 10

Lot 10 will have significant landscaping with xeriscape, trees and a low-density build-out. The product will provide covered canopy storage to future customers. Adjacent lots will provide flex-space buildings with façade and decorative elements. The buildings are designed to provide breaks and enhanced architecture to improve aesthetic appearance.

Potential elevations of the site from the east, north and west views are designed to fortress the property. The layout of the buildings will screen the entire interior of the property. In addition to the fortress layout we will have a mixture of trees and shrubs along roadways and around the property to meet the Towns landscaping requirements.

The south entrance to the property will be screened with high-end decorative concrete opaque fencing as well as a monument including signage and trees.

Staff analysis and findings:

The proposed mini-storage warehouse is not an outdoor storage facility. The mini-storage warehouse units are fully contained within a building that will be screened and buffered with landscaping per the requirements of the Land Development Ordinance.

The proposed indoor recreational vehicle storage facility will have a canopy covered staging area dedicated to temporary parking of vehicles that are scheduled for concierge services. This canopy covered area is screened on three sides by the indoor recreational vehicle storage buildings.

The proposed mini-storage warehouse and indoor recreational vehicle storage facility will be adequately screened and buffered with landscaping.

9. Will not otherwise be detrimental to the health, safety or welfare of the present or future inhabitants of the Town.

Applicant analysis and findings:

Lot 8

The indoor climate controlled storage will be a safe and protected facility. It will have 24x7 monitored security, locked keypad-gate and staff to monitor the facility. The site is well planned for traffic flows with wide truck lanes including truck turning radius that meet or exceed local fire department codes standards and recommendations. There will not be any hazardous material storage on site and the clean open appearance will drive a safe comfortable customer experience. The property will be maintained and designed in such a way as to enhance the safety and aesthetics of the property. The uses will be low-impact from a resource perspective as well as from a community service perspective.

Lot 10

The Lot 10 RV storage product will be well lit, locked with electronic steel gates and surrounded with a high-end building product. This type of RV storage facility is a high-end product with amenities to secure and monitor the site. This site will enhance the local community. In addition the ability for residents to safely store RVs away from their homes will increase the value and safety of the resident's local neighborhood. Every reasonable attempt has been made to be a significant benefit to the local economy and Town of Parker. This design provides opportunities for citizen to work, play, eat and stay right in our local economy. The property will be maintained and designed in such a way to enhance the safety and aesthetics of the property.

The uses will be low-impact from a resource perspective as well as from a community service perspective. The uses will provide an extremely needed service to the Parker economic region. The garage use will allow owners to remove campers and larger vehicles from their driveways and local roadways. This will provide a much safer neighborhood for kids and reduce residential crime. The storage uses will enhance the welfare and safety of the Town as well as bring new business to surrounding businesses.

Staff analysis and findings:

The proposed mini-storage warehouse and indoor recreational vehicle storage facility are passive land uses and therefore will not be detrimental to the health, safety or welfare of the present or future inhabitants of the Town.

Section V.

Referral Agency Comments:

Below are the condensed versions of referral responses received from affected agencies:

Town of Parker Economic Development:

No comment

Town of Parker Fire and Life Safety:

Approved

Town of Parker IT:

Approved

Urban Drainage and Flood Control:

UDFCD advises the applicant to prepare a drainage report to analyze potential flood hazards and ensure public safety.

Town of Parker Comprehensive Planning:

On March 7, 2016, the Town Council approved an amendment to the Master Plan and the Land Development Ordinance not permitting development of self-storage and outdoor self-storage. Included in the Land Development Ordinance was 13.04.300(a)(4) which allows applicants that qualified under Emergency Ordinance 3.312 to proceed with storage and/or outdoor self-storage applications assuming they submit applications by September 7, 2016.

Town of Parker Police Department:

No comment

IREA:

No comment

Douglas County Planning:

No comment

Cherry Creek Basin Water Quality Authority:

No exceptions taken as submitted

Public Service Company of Colorado:

No comment

Parker Water and Sanitation District:

Approved

Town of Parker Engineering Department:

Development associated with the property is required to construct roadway and drainage improvements in accordance with Town standards to support the proposed land use.

**Section VI.
Recommendation:**

Staff recommends that the Planning Commission recommend that Town Council approve the Use by Special Review request(s) to allow a mini-storage warehouse and indoor recreational vehicle storage uses on Dransfeldt Place Lots 8 and 10 (respectively) subject to the following conditions:

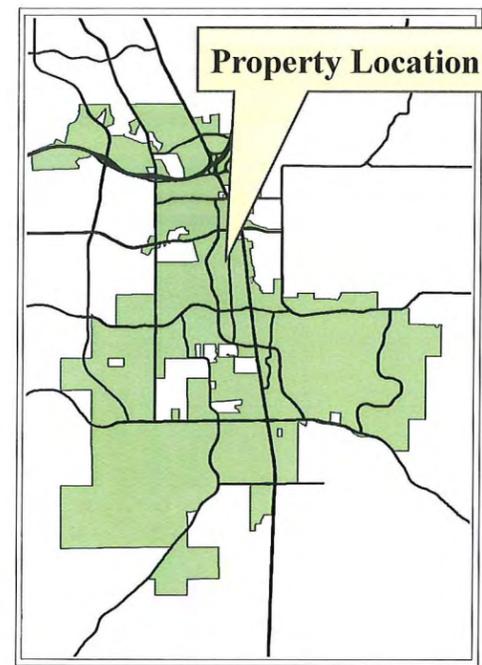
1. The applicant must submit site plan application(s) for the proposed mini-storage warehouse on Dransfeldt Place Lot 8 and indoor recreational vehicle storage facility on Dransfeldt Place Lot 10 by September 7, 2016.
2. That the indoor recreational vehicle storage buildings proposed on Lot 10 of Dransfeldt Place be fully enclosed buildings with walls on all sides and roofs.
3. **THIS APPROVAL SHALL EXPIRE SIX (6) MONTHS AFTER THE DATE OF APPROVAL UNLESS BUILDING PERMITS HAVE BEEN ISSUED AND CONSTRUCTION HAS COMMENCED.** The Community Development Director, upon written request, may grant a ninety-(90) day extension.

**Section VI.
Attachments:**

1. Vicinity Map
2. Project Narrative
3. Referral Agency Comments

**Section VII.
Proposed Motion(s):**

"I move that the Planning Commission recommend that the Town Council approve the Use by Special Review to allow a mini-storage warehouse and indoor recreational vehicle storage on Dransfeldt Place Subdivision Lots 8 and 10 (respectively) subject to the three conditions outlined in staff's report."



Legend

- Site
- Town Boundary
- Parcels

**Dransfeldt Place
Use by Special Review
Planning Case
File No. Z16-004**

**Planner: Ryan McGee
PC Date: April 14, 2016
TC Date: April 18, 2016**

**Dransfeldt Place
Use By Special Review**

PROJECT NARRATIVE

Dransfeldt Business Park

Use by Special Review

3/17/2016

THE PROJECT:

The Applicant is currently processing a Minor Development Plat application with the Town of Parker for the creation of a Light Industrial business park to be known as the Dransfeldt Business Park, consisting of ten individual lots. The Property lies in an area zoned for Light Industrial use per the Town of Parker's Master Plan and under the existing Dransfeldt Place Planned Development. Upon completion of the Minor Development Plat for the creation of the lots in the project, the Applicant intends to process two Site Plans for the construction of two separate self-storage facilities on two of the lots. Prior to the submittal of the applications for the Site Plans for the planned self-storage facilities, the Applicant is seeking the approval for those uses under the required "Use by Special Review" process.

THE APPLICANT:

Dransfeldt Development, LLC is also the owner of the Property. The company is owned by Dan Wright, Scott Wright and Todd Wright, who are successful business executives in the computer software business today. The owners have been long-time Douglas County residents, living in and around Parker for over 40 years. The owners live, work, shop, and play in Parker and have a vested interest in seeing Parker thrive economically. They established Dransfeldt Development, LLC and acquired the property for the purpose of developing the Dransfeldt Business Park.

GENERAL PROPOSAL DESCRIPTION:

Lot 8 and Lot 10 per the attached subdivision plat exhibit are planned to host a fully enclosed climate-controlled self-storage facility on Lot 8 and premier indoor boat and RV storage / concierge service facility on Lot 10. Each of these proposed uses will be developed with an architectural design consistent with an overall theme to be implemented within the project and in harmony with surrounding Light Industrial uses in the immediate area.

Lot 8: Climate Controlled Self-storage:

A 3-story indoor climate controlled storage facility is proposed for this location. This project is designed to provide a high quality self-storage opportunity unlike any other product currently available in Parker. The structure will feature a contemporary design with extensive glass and an office park look and feel,

providing multiple individual covered loading/unloading bays for both small vehicle and truck access. Unlike traditional self-storage facilities, the project will not include any exposed “roll-up” doors for individual drive-up access to storage units all around the building. All access to the facility will be monitored and controlled through a central office providing security and order to the business operation. The proposed project is targeted towards the discriminating self-storage consumer seeking a high-quality storage opportunity in a clean, well-managed facility offering a high level of security.



Lot 10: Enclosed RV / Boat Storage:

A self-storage garage “campus” project is proposed for this site. The project will feature multiple buildings in a secure compound offering individual enclosed garages sized to accommodate the storage of RVs and boats. The operator intends to provide a “concierge service” to prep and clean vehicles for owners, utilizing a maintenance staff and the necessary equipment to perform a wide variety of services and repairs to all sizes of boats, campers and RVs.

“Concierge service” allows customer RV units to be taken off site to a variety of businesses to perform the contracted services. All services will be provided by other companies at their facilities which will be off site. We will bill the customer for these services and accommodate their delivery and return to the facility by up to two (2) dedicated staff members employed by us. We intend to retrieve customers units from their assigned storage location in our facility and park the unit in our “concierge parking area” to await pickup by outside contractors who will perform the services requested (services are performed at their own off site locations) and then return the unit to our facility. Once returned, we will re-locate the services units to their assigned storage space. By offering a high quality level of service through the employment of regular staff, the project is targeting the discriminating RV and boat storage user seeking a clean, well-managed and secure alternative to the traditional outdoor storage product currently on the market. The anticipated range of services are planned to include, but may not be limited to:

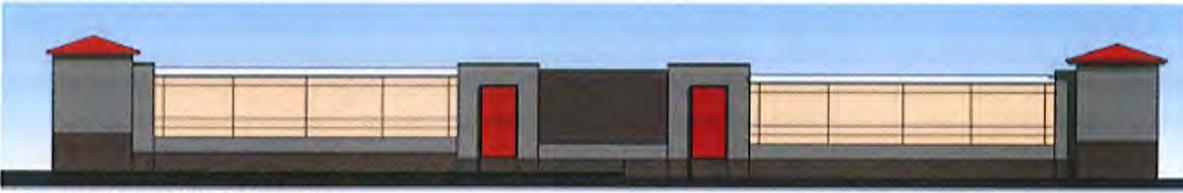
- Pre-Travel Check
- Plumbing and Electrical Repair
- Welding and Fabrication Work
- All Phases of Hitch Work and Repair
- All Phases of Brake and Brake Controller Repair

- RV Appliance Repair
- Wheel Bearing Repack
- Winterize and De-winterize
- Body Work

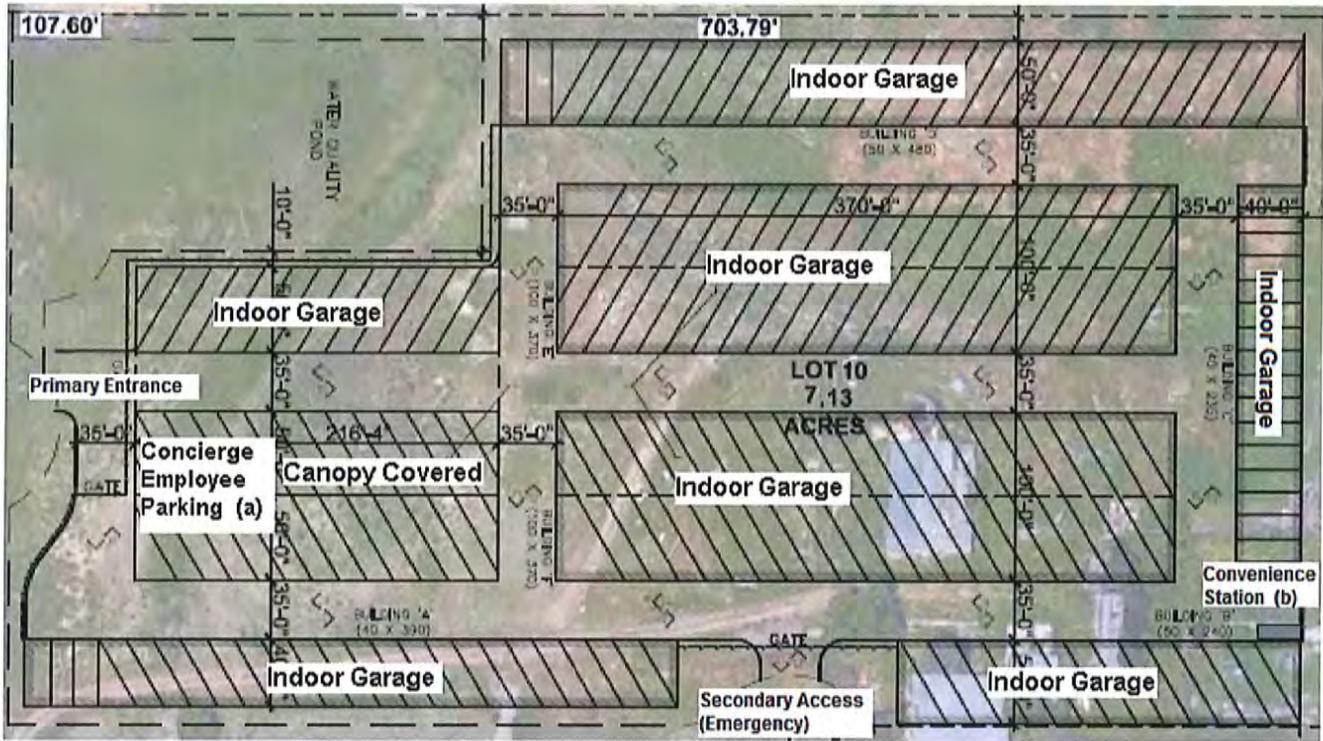
The garage storage product will be unique to the area in that there are many customers needing a larger space to store their recreational units and associated accessories. The storage units are planned to range in size from 40 feet to 60 feet in length and approximately be 14 feet high. These units would also be large enough for tenants to store a greater quantity of home-goods, secondary vehicles, small business surplus inventory, etc. However, the facility will not allow for the operation of any business from any of the units and will be restricted to storage only.

The facility is planned to be a “kiosk based” storage facility, providing 24x7 secured gate access, security cameras and appropriate lighting. A Kiosk site will not have a dedicated office, but rather just parking for employees that visit to manage customer vehicles. We have designated a customer staging and employee parking area near the entrance which will accommodate 16 full-length (truck and camper etc.) customer RV vehicles and 8 spaces for employee or other cars. Vehicles not waiting for service will be kept in their leased storage garage.





Surrounding building Elevation



The layout of lot 10 will feature a "fortress" approach. This approach will surround the site with our garage product. The interior of the lot will not be visible from outside the facility. A full dump station/brown water rinse, vacuum and trash dumpster convenience station will be provided in the north east corner of the site (label b). This site will have a significant amount of indoor fully enclosed garage storage for Boats and RVs. The primary entrance will be on the south side, with a secondary emergency entrance on the east side. Customer concierge service and employee parking is shown (label a) immediately inside the entrance gate.

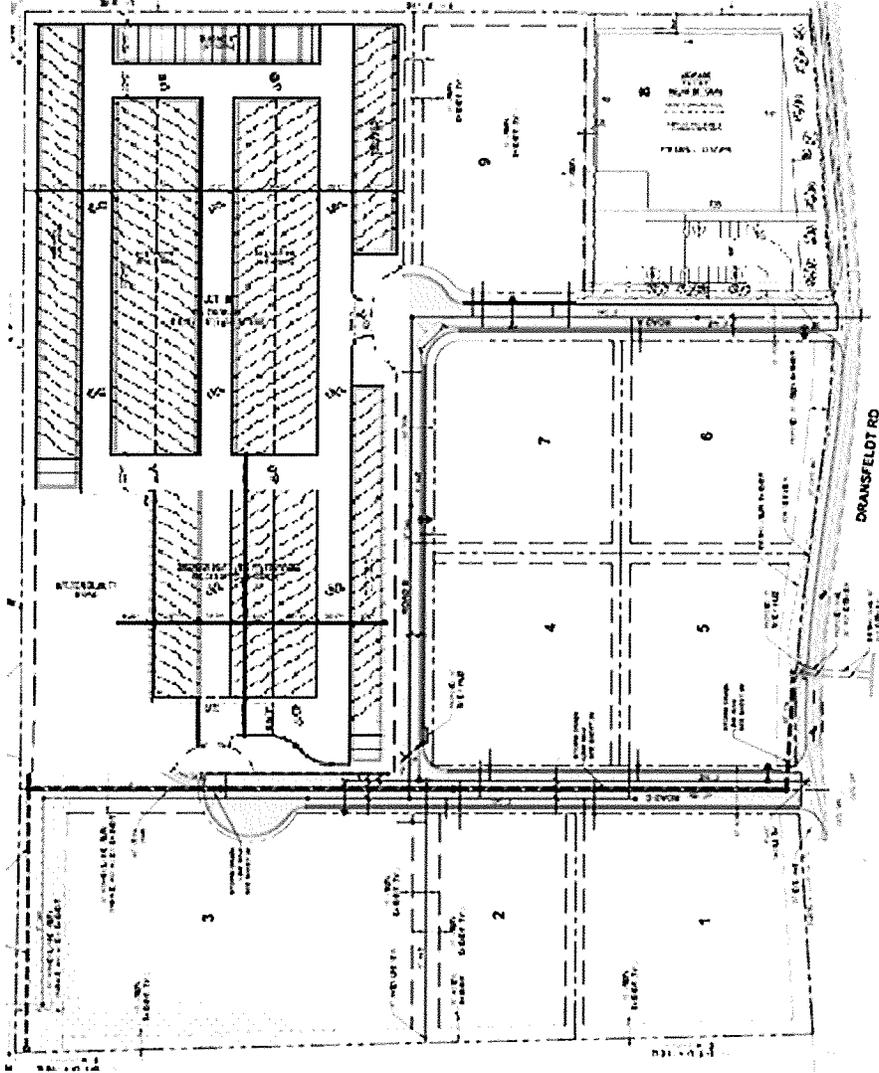
SUMMARY:

The proposed uses for Lot 8 and Lot 10 of the Dransfeldt Business Park will bring the highest quality storage facilities to Parker the town has ever known.

The climate-controlled facility proposed for Lot 8 will be designed to high architectural standards and offer a tasteful and pleasing addition to the Dransfeldt Road corridor, delivering a high quality product and service in demand by the Parker community.

The enclosed RV / Boat Storage facility proposed for Lot 10 will also be designed to high architectural standards and bring to the community a product and service the first of its kind in this market. The project will provide employment and fulfill the existing and growing demand for quality storage and service currently unavailable in Parker.

Subdivison Plat Exhibit
(with Conceptual Plan for Lot 8 and Lot 10)





Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: 303.571.3306
Facsimile: 303. 571.3284
donna.l.george@xcelenergy.com

March 9, 2016

Town of Parker Community Development Department
20120 E. Mainstreet
Parker, CO 80138

Attn: Ryan McGee

Re: Dransfeldt Place Mini Storage UBSR Rezone, Case # Z16-004

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the request for the **Dransfeldt Place Mini Storage UBSR Rezone**. Public Service Company has no objection to this proposed rezone, contingent upon PSCo's ability to maintain all existing rights and this amendment should not hinder our ability for future expansion, including all present and any future accommodations for natural gas transmission and electric transmission related facilities.

If you have any questions about this referral response, please contact me at (303) 571-3306.

Donna George
Contract Right of Way Referral Processor
Public Service Company of Colorado

Project Name: Dransfeldt Place MiniStorage UBSR

Project Number: Z16-004

Jurisdiction: Town of Parker

Date Received: 2016-02-17 00:00:00

Due Date: 2016-03-14 00:00:00

Addressing Comments:

No Comments

Engineering Comments:

No Comments

Planner Comments:

No Comments

UDFCD Maintenance Eligibility Program Referral Review Comments

Project: Dransfeldt Place MiniStorage UbSR Project #Z16-004
Stream: **Unnamed tributaries to Cherry Creek**
MEPID: N/A

This letter is in response to your request for our comments concerning the referenced project. We appreciate the opportunity to review this proposal. We have reviewed this proposal only as it relates to major drainage features, in this case the unnamed tributaries to Cherry Creek.

1. The project site does not appear to lie within any identified floodplains, however, the site is bordered by major drainage channels along the north and west boundaries. In addition, there is a storm sewer outfall and channel that appears to bisect the site. We do not have any information regarding these channels or outfalls, however, we advise that the developer seek guidance from a licensed design engineer to prepare a drainage report which may better inform the Town and developer of potential flood hazards and ensure public safety.

Please feel free to contact me with any questions or concerns.

Thank you,

Mike S.

Mike Sarmiento, SET, CFM
Senior Construction Manager
Floodplain Management Program
Urban Drainage and Flood Control District



**Community Development Department Memorandum
Development Review Division**

To: Town of Parker Planning Commission

From: Ryan McGee, Associate Planner *RM*
Steve Greer, Deputy Community Development Director *SG*

Through: John Fussa, Community Development Director

Date: April 14, 2016

Regarding: Public Hearing:
Ordinance No.3.01.109 – A Bill for an Ordinance to Amend Sections
13.04.100 and 13.04.120 of the Parker Municipal Code Concerning Assembly
Uses
[Planning Case File No. DCU16-001]

**Section I.
Subject & Proposal:**

Applicant: Town of Parker

Proposal: The purpose of this Ordinance is to preserve properties in B – Business and C – Commercial Districts for uses that have economic development benefits.

**Section II.
Analysis:**

The Town has experienced substantial growth during the past few years as a consequence of the strong regional economy and residential in-migration. This growth, while largely beneficial, has resulted in a decreasing supply of land that is available for future commercial, light industrial and mixed-use development. This is an issue of Town-wide concern but is most acute in those areas zoned B – Business District and C – Commercial District where land for development is scarce and under increasing development pressure.

The Parker 2035 Master Plan identifies these areas as part of the Central Commercial District where "...growth in this Character Area should focus on core retail, services, offices, lodging, restaurants, etc....." In order to preserve the B – Business and C – Commercial Districts for uses having economic development benefits, it is necessary to evaluate and amend the Land Development Ordinance to eliminate uses that fail to generate retail sales tax, primary employment and beneficial economic activity.

The B – Business District and C – Commercial District permit a number of assembly uses on a by-right basis that are of concern given the discussion above. Assembly uses typically involve the occupancy/use of a building, structure or a portion thereof for the gathering of people for civic, educational, entertainment, social or religious activities. These uses may be important within a community but they do not generate substantial economic development benefits such as retail sales tax, primary employment or increased economic activity.

The B – Business and C – Commercial Districts are primarily located in the important Parker Road corridor so the preservation of remaining vacant land for commercial, light industrial and mixed-use development is central to the future economic and financial health of the Town. As a planning and zoning issue, this is an urgent matter given the increasing development pressure in these areas and the potential for development proposals of assembly uses that would further reduce the inventory of available land for uses generating economic development benefits to the Town.

On March 21, 2016, Town Council approved Emergency Ordinance No. 3.01.108 to amend Sections 13.04.100 and 13.04.120 of the Parker Municipal Code concerning assembly uses.

**Section III.
Recommendation:**

Staff recommends that the Planning Commission recommend that Town Council approve Ordinance No. 3.01.109 to amend Sections 13.04.100 and 13.04.120 of Parker Municipal Code concerning assembly uses.

**Section IV.
Attachments:**

1. Ordinance No. 3.01.109
2. Emergency Ordinance No. 3.01.108

**Section V.
Proposed Motion(s):**

"I move the Planning Commission recommend Town Council approve Ordinance No.3.01.109 to amend Sections 13.04.100 and 13.04.120 of Parker Municipal Code concerning assembly uses."

ORDINANCE NO. 3.01.109, Series of 2016

TITLE: A BILL FOR AN ORDINANCE TO AMEND SECTIONS 13.04.100 AND 13.04.120 OF THE PARKER MUNICIPAL CODE CONCERNING ASSEMBLY USES

NOW, THEREFORE, THE TOWN COUNCIL OF THE TOWN OF PARKER, COLORADO, ORDAINS:

Section 1. Subsection 13.04.100(c) of the Parker Municipal Code is amended to read as follows:

13.04.100 B—Business District.

* * *

(c) Uses permitted by right.

(1) Motels, hotels, including restaurants, gift shops and other incidental accessory uses located within the principal building.

(2) Hospitals, nursing and convalescent homes and other extended care facilities.

(3) Offices: general, medical, dental, professional and governmental.

(4) Public and quasi-public facilities.

(5) Greenhouses.

(6) Places for conducting restricted business activities, including, but not limited to, the following uses:

Antique shops

Artist supplies

Banks

Barbershops and beauty parlors

Bars and lounges

Book stores

Clothing stores

Convenience stores; sale of gasoline shall be prohibited

Crafts and hobby shops

Drug stores

Dry cleaning and dyeing

Dry goods and variety stores

Electrical and household appliances

Fast food establishments, drive-in and/or carry-out

Florists

Furniture stores, no warehousing—limited storage within the principal structure

Gift shops

Grocery stores

Hardware stores

Jewelry stores

Laundries—hand and coin-operated

Music shops

Newsstands

Office supplies

Package liquor stores

Paint stores

Pet shops

Photographic studios, equipment and supplies

Public utility offices

Restaurants and other eating establishments

Shoe stores

Sporting good and athletic equipment

Stationery stores

Toy and game stores

Travel agencies

All the above uses, except for public or private parking lots, and those interpreted for inclusion by the Planning Commission shall be conducted entirely within an enclosed building.

(7) Public parks, playgrounds, open space and outdoor recreation areas.

(8) Electric transmission and distribution lines, telegraph and telephone lines, telephone exchanges, electric substations and gas regulator stations.

(9) Accessory uses and buildings.

Section 2. Subsections 13.04.120(c) and (d) of the Parker Municipal Code are amended to read as follows:

13.04.120 C-Commercial District.

* * *

(c) Uses Permitted by right.

* * *

(2) Places for conducting any commercial, wholesale or service activities, not of an industrial nature, inclusive of, but not limited to the following uses:

Auto parts stores

Bakeries—wholesale and retail

Car wash, automatic or coin-operated

Contractor's offices only, no storage of equipment or trailers

Drive-in eating and drinking establishments

Indoor dog training and dog grooming

Nurseries (plant), wholesale and retail

Printing and publishing

Radio and television offices and studios

Shopping centers

Tire repair shops

Upholstery shops

* * *

(d) Uses permitted by special review.

(1) All uses permitted by special review in the B—Business District.

(2) Automobile service stations.

(3) Auto and truck repairs.

(4) Car sales, new and used.

(5) Motor vehicles and motorized equipment: sales, leasing, rental servicing and repair as an accessory activity.

(6) Veterinary clinics and hospitals.

(7) Caretaker residences.

(8) Outdoor flea markets.

(9) Observation kennels and pet day care.

(10) Outdoor dog training.

(11) Outdoor commercial display shall meet all of the minimum requirements contained in Subparagraphs a. through j. below:

a. Outdoor commercial display is defined as any items, goods or seasonal merchandise directly related to the commercial use conducted inside the principal building, which items, goods or merchandise are permanently displayed outside of the principal building for the purposes of sale to the general public at retail.

b. This Section shall not be in conflict with or used to circumvent the requirements of Section 13.04.210 of this Chapter.

c. Outdoor commercial display shall only be considered as part of an approved site plan, to be reviewed in accordance with Chapter 13.06 of this Title.

d. Outdoor commercial display shall occur within fifteen (15) feet of the exterior walls of the principal building and shall not comprise more than three percent (3%) of the building footprint of the principal building, as shown on the approved site plan.

e. Outdoor commercial display areas shall be identified by a permanent marking material, identifying the entire outdoor display area, as shown on the approved site plan for the property. Colored and/or stamped concrete paving, brick pavers or concrete pavers are acceptable. Painted stripes will not be acceptable. No outdoor commercial display will be permitted outside of the delineated display area.

f. Outdoor commercial display activities shall be conducted so as to assure that the sidewalk or entrance into the principal building is not obstructed and that a minimum width of eight (8) feet shall be continuously maintained on the sidewalk or entrance into the principal building to allow for pedestrian access.

g. The use of semi-trailers or temporary buildings shall not be permitted.

h. All signage shall comply with Chapter 13.09 of this Title.

i. Outdoor commercial display shall not be located within the parking area for the principal building as shown on an approved site plan.

j. This Section shall not be in conflict with federal, state or local governmental requirements, including, but not limited to, the International Building Code, Department of Health or Fire District standards.

(12) Nurseries (plant), wholesale and retail, which provide outdoor display areas that comprise more than three percent (3%) of the building footprint of the principal building, as shown on the approved site plan.

Section 5. Safety Clause. The Town Council hereby finds, determines and declares that this Ordinance is promulgated under the general police power of the Town of Parker, that it is promulgated for the health, safety and welfare of the public, and that this Ordinance is necessary for the preservation of health and safety and for the protection of public convenience and welfare. The Town Council further determines that the Ordinance bears a rational relation to the proper legislative object sought to be obtained. The Town Council further finds that the title to this Ordinance was posted in two public places two days before the Town Council meeting, as provided by Section 7.5e. of the Town of Parker Home Rule Charter.

Section 6. Severability. If any clause, sentence, paragraph or part of this Ordinance or the application thereof to any person or circumstances shall for any reason be adjudged by a court of competent jurisdiction invalid, such judgment shall not affect application to other persons or circumstances.

Section 7. This Ordinance shall become effective ten (10) days after final publication.

INTRODUCED AND PASSED ON FIRST READING this ____ day of _____,
2016.

Mike Waid, Mayor

ATTEST:

Carol Baumgartner, Town Clerk

ADOPTED ON SECOND AND FINAL READING this ____ day of _____,
2016.

Mike Waid, Mayor

ATTEST:

Carol Baumgartner, Town Clerk

APPROVED AS TO FORM:

James S. Maloney, Town Attorney

Town of Parker
Department of Public Works
Task Order

Date: April 6, 2016

Consultant: AzTec Consultants, Inc.

Agreement: 2016 On-Call Professional Services - Surveying

Date of Agreement: December 11, 2015

Project Title: Chambers Road Well Abandonment Survey

Account Number: 301-4310-7566

Purpose/Description: Well Abandonment Survey

Scope: See Attached

Cost of Task: \$575.00

Schedule: May 6, 2016

PROPOSED BY:

Dean Cates, AzTec Consultants, Inc. Date

APPROVED BY:

Tom Williams, PE, Director of Engineering Date

ORDINANCE NO. 3.01.108, Series of 2016

TITLE: A BILL FOR AN EMERGENCY ORDINANCE TO AMEND SECTIONS 13.04.100 AND 13.04.120 OF THE PARKER MUNICIPAL CODE CONCERNING ASSEMBLY USES

NOW, THEREFORE, THE TOWN COUNCIL OF THE TOWN OF PARKER, COLORADO, ORDAINS:

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13.04.100 B—Business District.

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(3) Offices: general, medical, dental, professional and governmental.

(4) Public and quasi-public facilities.

(5) Greenhouses.

(6) Places for conducting restricted business activities, including, but not limited to, the following uses:

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Banks

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Bars and lounges

Book stores

Clothing stores

Convenience stores; sale of gasoline shall be prohibited

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Drug stores
Dry cleaning and dyeing
Dry goods and variety stores
Electrical and household appliances
Fast food establishments, drive-in and/or carry-out
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Grocery stores
Hardware stores
Jewelry stores
Laundries—hand and coin-operated
Music shops
Newsstands
Office supplies
Package liquor stores
Paint stores
Pet shops
Photographic studios, equipment and supplies
Public utility offices
Restaurants and other eating establishments
Shoe stores
Sporting good and athletic equipment
Stationery stores

Toy and game stores

Travel agencies

All the above uses, except for public or private parking lots, and those interpreted for inclusion by the Planning Commission shall be conducted entirely within an enclosed building.

(7) Public parks, playgrounds, open space and outdoor recreation areas.

(8) Electric transmission and distribution lines, telegraph and telephone lines, telephone exchanges, electric substations and gas regulator stations.

(9) Accessory uses and buildings.

Section 2. Subsections 13.04.120(c) and (d) of the Parker Municipal Code are amended to read as follows:

13.04.120 C-Commercial District.

* * *

(c) Uses Permitted by right.

* * *

(2) Places for conducting any commercial, wholesale or service activities, not of an industrial nature, inclusive of, but not limited to the following uses:

Auto parts stores

Bakeries—wholesale and retail

Car wash, automatic or coin-operated

Contractor's offices only, no storage of equipment or trailers

Drive-in eating and drinking establishments

Indoor dog training and dog grooming

Nurseries (plant), wholesale and retail

Printing and publishing

Radio and television offices and studios

Shopping centers

Tire repair shops

Upholstery shops

* * *

(d) Uses permitted by special review.

- (1) All uses permitted by special review in the B—Business District.
- (2) Automobile service stations.
- (3) Auto and truck repairs.
- (4) Car sales, new and used.
- (5) Motor vehicles and motorized equipment: sales, leasing, rental servicing and repair as an accessory activity.
- (6) Veterinary clinics and hospitals.
- (7) Caretaker residences.
- (8) Outdoor flea markets.
- (9) Observation kennels and pet day care.
- (10) Outdoor dog training.
- (11) Outdoor commercial display shall meet all of the minimum requirements contained in Subparagraphs a. through j. below:

a. Outdoor commercial display is defined as any items, goods or seasonal merchandise directly related to the commercial use conducted inside the principal building, which items, goods or merchandise are permanently displayed outside of the principal building for the purposes of sale to the general public at retail.

b. This Section shall not be in conflict with or used to circumvent the requirements of Section 13.04.210 of this Chapter.

c. Outdoor commercial display shall only be considered as part of an approved site plan, to be reviewed in accordance with Chapter 13.06 of this Title.

d. Outdoor commercial display shall occur within fifteen (15) feet of the exterior walls of the principal building and shall not comprise more than three percent (3%) of the building footprint of the principal building, as shown on the approved site plan.

e. Outdoor commercial display areas shall be identified by a permanent marking material, identifying the entire outdoor display area, as shown on the approved site plan for the property. Colored and/or stamped concrete paving, brick pavers or concrete pavers are acceptable. Painted stripes will not be acceptable. No outdoor commercial display will be permitted outside of the delineated display area.

f. Outdoor commercial display activities shall be conducted so as to assure that the sidewalk or entrance into the principal building is not obstructed and that a minimum width of eight (8) feet shall be continuously maintained on the sidewalk or entrance into the principal building to allow for pedestrian access.

g. The use of semi-trailers or temporary buildings shall not be permitted.

h. All signage shall comply with Chapter 13.09 of this Title.

i. Outdoor commercial display shall not be located within the parking area for the principal building as shown on an approved site plan.

j. This Section shall not be in conflict with federal, state or local governmental requirements, including, but not limited to, the International Building Code, Department of Health or Fire District standards.

(12) Nurseries (plant), wholesale and retail, which provide outdoor display areas that comprise more than three percent (3%) of the building footprint of the principal building, as shown on the approved site plan.

Section 3. **Police Power Finding.** The Town Council hereby finds, determines and declares that this Ordinance is necessary and proper to provide for the safety, preserve the health, promote the prosperity, and improve the order, comfort and convenience of the Town and the inhabitants thereof.

Section 4. **Emergency Declared.** Pursuant to Section 7.6 of the Charter, the Town Council hereby finds, determines and declares that this Ordinance is necessary for the immediate preservation of the public peace, health, safety and welfare of the Town of Parker, in order to immediately address the negative impact of assembly uses on the remaining inventory of real property contained within the B-Business District and the C-Commercial District that is available to accommodate existing and future demand for commercial uses that provide direct economic benefit and employment to the Town of Parker.

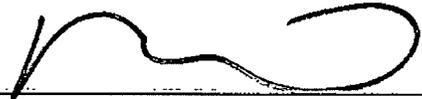
Section 5. **Safety Clause.** The Town Council hereby finds, determines and declares that this Ordinance is promulgated under the general police power of the Town of Parker, that it is promulgated for the health, safety and welfare of the public, and that this Ordinance is necessary for the preservation of health and safety and for the protection of public convenience and welfare. The Town Council further determines that the Ordinance bears a rational relation to the proper legislative object sought to be obtained. The Town Council further finds that the title

to this Ordinance was posted in two public places two days before the Town Council meeting, as provided by Section 7.5e. of the Town of Parker Home Rule Charter.

Section 6. **Severability.** If any clause, sentence, paragraph or part of this Ordinance or the application thereof to any person or circumstances shall for any reason be adjudged by a court of competent jurisdiction invalid, such judgment shall not affect application to other persons or circumstances.

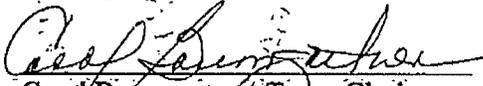
Section 7. This Ordinance shall become effective immediately upon adoption.

INTRODUCED, ADOPTED AND PASSED ON FIRST READING this 21st day of March, 2016.



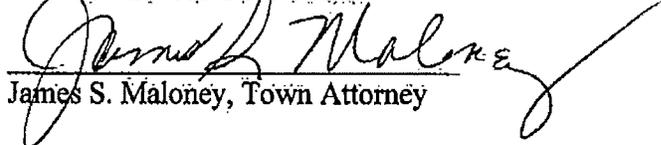
Mike Waid, Mayor

ATTEST:



Carol Baumgartner, Town Clerk

APPROVED AS TO FORM:



James S. Maloney, Town Attorney