



PLANNING COMMISSION MEETING

August 25, 2016

Prior to the Meeting: *Planning Commissioner Training*

1. **CALL TO ORDER**
2. **PLEDGE OF ALLEGIANCE**
3. **ROLL CALL**
4. **ADDITIONS TO OR DELETIONS FROM THE AGENDA**
5. **APPROVAL OF MINUTES**
August 11, 2016 Minutes
6. **CONSENT AGENDA**
7. **PUBLIC HEARING: HIDDEN RIVER F7 B1 L17 GROUP RESIDENTIAL FACILITY – Condition Use**
Applicant: Mandi Mouw, Aurora Residential Alternatives
Location: 20780 Bridlewood Lane
Planner: Carolyn Parkinson
8. **PUBLIC HEARING: COMPARK VILLAGE SOUTH FILING 1 – Minor Development Plat**
Applicant: Michael Vickers, 470 Compark LLC
Location: South of E-470, north of Grandview Estates
Planner: Patrick Mulready
9. **PUBLIC HEARING: COMPARK VILLAGE SOUTH FILING 2 – Sketch/Preliminary Plan**
Applicant: Michael Vickers, 470 Compark LLC
Location: South of E-470, north of Grandview Estates
Planner: Patrick Mulready
10. **PLANNING COMMISSION ITEMS**
11. **STAFF ITEMS**
12. **ADJOURNMENT**



PLANNING COMMISSION MINUTES
August 11, 2016

Chair Gary Poole called the meeting to order at 7:00 p.m.

Commissioner John Howe led the Planning Commission and audience in the Pledge of Allegiance.

Also, present were Commissioners Duane Hopkins, Sasha Levy and Robert Moffitt. Alternates Eliana Burke, Richard Foerster and Erik Frandsen were present.

ADDITIONS TO OR DELETIONS FROM THE AGENDA

None

APPROVAL OF MINUTES

Commissioner John Howe moved to approve the June 30, 2016 meeting minutes. Commissioner Duane Hopkins seconded; a vote was taken and passed 3:0:2 with Commissioner Sasha Levy abstaining due to being absent from the June 30, 2016 meeting and Commissioner Robert Moffitt abstaining due to not being seated for the June 30, 2016 meeting.

Commissioner John Howe moved to approve the July 14, 2016 meeting minutes. Commissioner Sasha Levy seconded; a vote was taken and passed 3:0:2 with Commissioners Duane Hopkins and Robert Moffitt abstaining due to being absent from the July 14, 2016 meeting.

CONSENT AGENDA

None

PUBLIC MEETING: OPENED: 7:02 P.M. ORDINANCE NO. 3.322.1 - A Bill for an Ordinance to Amend the Text of the Newlin Crossing Development Plan and Guide Pursuant to the Town of Parker Land Development Code

Applicant: Town of Parker
Location: Northeast Corner, Mainstreet and Chambers Road
Planner: Patrick Mulready

Patrick Mulready, Planner, presented the staff report for the ordinance to amend the text of the Newlin Crossing Development Plan and Guide. Mr. Mulready concluded with the determinations in staff's report and recommended the Planning Commission recommend Town Council approve Ordinance No. 3.322.1.

APPLICANT PRESENTATION

Town staff presentation only

Commissioners discussed with staff:

- the maximum number of allowed gas pumps within the PD; (*Staff said the maximum number of allowed gas pumps within the PD is 12.*)
- if gas station lighting in close proximity to residences is required to be less than in commercial areas; (*Staff said the Land Development Ordinance requires all site lighting, with the exception of illuminated wall signage, to be ground directed and fully cut-off shielded to prevent sideways light glare.*)
- clarification of what is permitted within the Land Development Ordinance regarding group homes; (*Staff said the Land Development Ordinance allows five unrelated individuals to live together as a family; six to eight unrelated individuals living together constitute a group home.*)
- the reason for deletion of daycare and lodging as allowed uses; (*Staff said those uses were deleted due to the lack of tax revenue and hotels are land intensive and the plan is for commercial diversification.*)
- the reason for the amendment; (*Staff said the applicant has requested the amendment based on feedback they have received as the property has been marketed; no one has applied with the Town to develop the property.*)
- if there is the potential for an educational facility to locate in the designated commercial area; (*Staff said it could happen but the owners have been pursuing buyers who represent retail tenants.*)

PUBLIC COMMENT OPENED

None

PUBLIC COMMENT CLOSED

PUBLIC MEETING: CLOSED: 7:11 P.M. ORDINANCE NO. 3.322.1 - A Bill for an Ordinance to Amend the Text of the Newlin Crossing Development Plan and Guide Pursuant to the Town of Parker Land Development Code

PLANNING COMMISSION DISCUSSION

Commissioner John Howe said the request is straight-forward; he is in favor of it, as there is nothing unworkable within the proposed amendment.

Commissioner Rob Moffitt said the fact that the PD is being refined indicates there is a conscientious effort involved that he appreciates. He said he always likes to see land being used for its highest and best use wherever that can happen.

Commissioner Sasha Levy agreed; the Town definitely needs development that generates tax revenues.

Commissioner Duane Hopkins said the changes are fine and appreciated the focus on keeping the commercial space where it can generate tax revenue for the community; the other alignments are fine considering where the property is located; and he supports the request.

Chair Gary Poole concurred; he appreciated the efforts of the Town and the developer to clarify the uses.

Commissioner John Howe moved that the Planning Commission recommend the Town Council approve Ordinance No. 3.322.1. Commissioner Rob Moffitt seconded; a vote was taken and passed 5:0.

PLANNING COMMISSION ITEMS

None

STAFF ITEMS

Bryce Matthews, Planning Manager, advised there will be training on Local Government and Long Range Planning, August 25, 2016 at 5:30 p.m., prior to the Planning Commission meeting. He said there will only be three training sessions and the dates of the next two are in the process of being determined.

ADJOURNMENT

The meeting was adjourned at 7:13 p.m.

Rosemary Sietsema
Recording Secretary

Gary Poole
Chair



**Community Development Department Memorandum
Development Review Division**

To: Town of Parker Planning Commission
From: Carolyn Parkinson, Planner *CP*
Bryce Mathews, Planning Manager
Through: John Fussa, Community Development Director
Date: August 25, 2016
Regarding: Public Hearing:

**HIDDEN RIVER F7 B1 L17 GROUP RESIDENTIAL FACILITY –
Conditional Use**
[Case No. Z16-021]

**Section I.
Subject & Proposal:**

Location: 20780 Bridlewood Lane
Applicant: Aurora Residential Alternatives (ARA), 406 Tech Dr., Menomonie WI 54751
Representative: Mandi Mauw
Proposal: ARA seeks approval of a Conditional Use for a Group Residential Facility that will serve as a residence for adults with acquired brain injuries.

**Section II.
Background:**

History: The subject property was platted by the Town of Parker as a lot for a single-family residence in the Hidden River Subdivision, Filing 7 in 1996.

Land Use Summary Data:

Total Area: .21 acres
Zoning: PD – Planned Development
Existing Use: Developed and improved with one single-family residence

Surrounding Zoning & Land Use:

North: SR – Suburban Residential, single-family lot
East: Town owned open space and trail
South: SR – Suburban Residential, single-family lot
West: SR – Suburban Residential, single-family lot

Section III.

Analysis:

The Hidden River Planned Development (PD) zoning defines a family as up to four unrelated persons. The Town Land Use Ordinance defines a family as up to five unrelated persons. Per the Towns Land Use Ordinance, the more restrictive regulations apply. Since this request is for a Group Residential Facility on an existing residential lot that provides home and community based services for up to five persons with acquired brain injury, a Conditional Use public hearing is required. The goal of ARA is to allow for independent living to the highest extent possible while providing for the development and support of necessary skills. Skill support includes cooking, cleaning, social skills, money management and job skill development.

If approved, this request will allow up to five unrelated adults with acquired brain injury to live in the Group Residential Facility. The facility is staffed 24 hours a day, seven days a week.

It should be noted that while the Town can require the operators of this Group Residential Facility to obtain approval of a Conditional Use, the Town's consideration of this request is subject to State of Colorado and Federal Fair Housing Acts which protect people with disabilities from housing discrimination. These laws ensure that people with disabilities can use and acquire housing on an equal basis with nondisabled persons including Group Homes and Residential Facilities governed by federal and state statute.

Section IV.

Additional Staff Findings:

The Town of Parker Land Development Ordinance §13.04.290, specifies thirteen criteria to be used in evaluating a request for a Group Residential Facility.

The intent of these criteria are to ensure that the Group Residential Facility will be used in a manner consistent with the character of the surrounding residential neighborhood and potential impacts that are not consistent with typical residential use have been mitigated. If the proposed use meets these criteria, or can meet them subject to reasonable mitigation conditions, the use may be approved.

1. Will be in harmony and compatible with the character of the surrounding areas and neighborhood.

Applicant analysis and findings:

The home that we've purchased has been a very well maintained and manicured home. I met with the previous owner to go over all of the maintenance needs for both inside and outside the home. We will be hiring a landscaping company to maintain the yard or will have a designated maintenance person to ensure that the home maintains its current appearance and manicured state. We will be in compliance with all HOA standards.

Staff analysis and findings:

The use is proposed within an existing single-family residence in a long-established neighborhood. ARA provided assurances that the use will be compatible and will not exceed those impacts normally associated with a single-family residence. Assurances from ARA will be reinforced by appropriate conditions of approval.

2. Will have architectural designs consistent with the residential character of the surrounding neighborhood;

Applicant analysis and findings:

The home is an existing residential home in line with the current residential character of the surrounding neighborhood. We will not be making any additions or changes to the physical appearance of the home that would impact the architectural design or create an inconsistency with the residential character of the surrounding neighborhood. We will remain in compliance with all HOA standards as well.

Staff analysis and findings:

This is an existing single-family residence that is currently consistent with the residential character of the surrounding neighborhood. A condition of approval has been recommended that will ensure the facility will continue to comply with all architectural and landscaping requirements of the surrounding neighborhood and the Hidden River HOA.

3. Will be consistent with the Town Master Plan;

Applicant analysis and findings:

We will be in compliance with the Town's Master Plan which is described as Medium Density Residential. Our home is a residential home and will be in compliance with the neighborhood and town as this will not be altered and will remain consistent.

Staff analysis and findings:

The Town's Master Plan describes this area as Medium Density Residential (3.5 dwelling units per acre). Chapter 8: Housing and Neighborhoods also articulates the following goal:

4. Encourage the increased availability and integration of a variety of housing that supports flexibility, mobility, independent living and services for the elderly and those with special needs.

The requested Group Residential Facility use is residential in character and increases the availability of housing options within the community. Therefore the proposal is consistent with the Master Plan.

4. Will not result in an over-intensive use of land;

Applicant analysis and findings:

Our home will not have an impact on the use of land as we will be continuing to utilize this home as a single family home. We will not have more than five residents residing in the home and it will operate in the same way the other homes operate in the neighborhood with very little variance. We will not be making any additions to the home or adding anything to the physical space that would result in more use of the land.

Staff analysis and findings:

The requested Group Residential Facility use is residential in nature and as proposed will have similar impacts as any other single-family residence. There are no indications from referral agencies that the proposed use will result in over intensive use of the land. A condition of approval has been recommended to ensure compliance with this criterion.

5. Will not have a material adverse effect on community capital improvement programs;

Applicant analysis and findings:

We will have no adverse effect on community capital improvement programs. There will be no impact on the existing roadway network around the property and there are existing drainage improvements in place to handle storm water flows.

Staff analysis and findings:

It is anticipated that the existing roadway network around the subject property will not be adversely impacted by the additional traffic generated by the Group Residential Facility use. There are existing drainage improvements in place to handle developed storm water flows and it is anticipated that a Group Residential Facility use at this location will not materially affect the Town's Capital Improvement Program investments.

6. **Will not require a level of community facilities and services greater than that which is available to single-family residential uses, such as, merely by way of example, commercial-sized waste receptacles, and more frequent waste disposal services;**

Applicant analysis and findings:

Our consumers' needs are similar to those already living in any other residential communities and will not require a level of community facilities and services that are greater than what is available.

Staff analysis and findings:

There are no indications from referral agencies that this Group Residential Facility use will result in greater impacts to community facilities than those normally associated with single-family residential use.

7. **Will not result in undue traffic congestion or traffic hazards, including frequent commercial deliveries or other frequent traffic impacts distinct from those impacts otherwise caused by single-family residential uses;**

Applicant analysis and findings:

Our residents will be utilizing the community and outpatient services for most of their needs, just as the average person does. We will potentially have a Nurse Practitioner visit once per week for approximately an hour during the late morning hours. This person drives a sedan and will park in the driveway. We will also receive medication deliveries two times per week. These are delivered by a woman who drives a sedan and will also be able to park in the driveway. Outside of these standing visits and deliveries there will be very few personnel coming to the house outside of the normal visits from family members or what would be considered normal in any other residence. Our staff will transport our consumers to outings that will not exceed that which is typical of most single family home residents. We have a three car garage which will be used whenever possible for staff, and our consumers will not have their own vehicles.

Staff analysis and findings:

Residents will be transported by support staff and traffic will not exceed the average trips per day for residential uses. There will be minimal routine medical personnel traffic and there will be limited visitor traffic; as many of the residents do not have family or friends that live in the area. A condition of approval has been recommended that will ensure compliance with this criterion.

8. **Will not cause significant air, water, or other nuisance impacts;**

Applicant analysis and findings:

Our consumers will behave in a way that is consistent with others in the community and the staff will always be available to help at all times with any issues or needs. Our consumers will always be held to a high standard in behavior while they are living in the community, and will have the expectation of being courteous to our neighbors. They will not cause significant air, water, or noise pollution that would affect our neighbors.

Staff analysis and findings:

This criterion relates to nuisance conditions that may spill-over to adjacent properties which can affect private enjoyment of those surroundings. There are no indications from referral agencies that the proposed use will cause significant air, water or noise pollution. A condition of approval has been recommended to ensure the private enjoyment of neighboring properties.

9. Will be adequately landscaped, buffered and screened;

Applicant analysis and findings:

Our premises are very nicely landscaped and will remain so. We will have a designated maintenance person to complete any maintenance, weeding, mowing, shoveling, etc. as needed and we will be in compliance with the HOA and community standards.

Staff analysis and findings:

The property currently has existing landscaping and a fence around the rear yard. The Town does not currently have minimum landscape requirements for single-family lots. A condition of approval has been recommended to insure adequate buffering and screened landscape stipulations that are compliant with Hidden River HOA requirements.

10. Will not result in excessive parking congestion;

Applicant analysis and findings:

Our presence will not result in excessive parking congestion. Staff will use one vehicle to transport our consumers to appointments and outings in the community. Our consumers do not own or drive their own vehicles. We have a large garage which can accommodate most of the vehicles of the staff and home. There will be no more than two to three staff vehicles outside of the rare occasion in which there is a get-together or meeting.

Staff analysis and findings:

The residents who live at this Group Residential Facility will not drive or own a vehicle. There will be a maximum of two to three staff vehicles on any given day and staff will park in the garage or on the driveway whenever possible. This is consistent with typical residential use. A condition of approval has been recommended that will ensure compliance with this criterion.

11. Will be consistent with Town health, safety and fire codes, including occupancy restrictions;

Applicant analysis and findings:

Our Assisted Living Residence will be regulated and licensed by the Colorado Department of Health and Environment as an Assisted Living Residence. We will comply with all State Life Safety Code requirements, including building, safety and fire codes, and occupancy restrictions, as well as all Town of Parker codes and regulations.

Staff analysis and findings:

Staff has verified submittal for an Assisted Living Facility (ALF) license with the state health and environment department for the Hidden River facility. Building permits have been submitted that conform to all relevant building, safety and fire codes. Per building code, no change in occupancy permit is needed provided the facility capacity is no more than five unrelated persons.

12. Will not otherwise be detrimental to the health, safety or welfare of the present or future inhabitants of the Town.

Applicant analysis and findings:

Our presence will not be detrimental to the health, safety, or welfare of the present or future inhabitants of the Town of Parker. Building permits have been submitted that conform to all relevant building, safety and fire codes.

Staff analysis and findings:

The subject property is an already-developed lot with an existing single-family residence. There were no indications from referral agencies that the activities proposed will be detrimental to the health, safety, or welfare of the present or future inhabitants of the Town of Parker. Additionally, a recommended condition of approval ensures that the facility will be subject to annual review by the Town of Parker to ensure continued compliance.

13. Shall provide notice of intent to develop a group home to the homeowners' association or equivalent having jurisdiction if located in a covenant-controlled community;

Applicant analysis and findings:

We will provide notice of our intent to provide licensed residential services to our Home Owner's Association. They will be asked to call the Regional Coordinator or Program Director with any questions or concerns. A notice will also be given to our neighbors in the community along with contact information so that any issues can be resolved immediately.

Staff analysis and findings:

Notice has been provided to the HOA of the intent to provide licensed residential services at the proposed location. Additionally, Hidden River HOA was included as a referral agency for this application.

This proposal is also compliant with the Town of Parker Land Use Code Section 13.04.290 (d) (4) which requires that a Group Residential Facility be located no closer than 750 feet from another Group Home or Residential Facility.

Section V.

Referral Agency Comments:

Below are the condensed versions of referral responses received from affected agencies:

Town of Parker Building Department:
Approved

IREA:
No Comment

Town of Parker Comprehensive Planning:
No Comment

Parker Water and Sanitation Department:
Approved

Town of Parker Fire, Life, Safety:
Approved

Town of Parker Engineering
No comment

Colorado Health Facilities / Group Homes:
ALF License application received

Public Service Company of Colorado:
Advisory Comments

Hidden River HOA:
No Comment

Town of Parker Neighborhood Services:
No Comment

Town of Parker Police:
No comment

Comments were received from two neighborhood homeowners, one in support and one opposed. These comments have been included in your packets.

Section VI.

Recommendation:

Staff recommends that the Planning Commission recommend that Town Council approve the Conditional Use request for ARA at Hidden River Group Residential Facility to allow a Group Residential Facility subject to the Parker Municipal Code and the following conditions:

1. The Group Residential Facility shall not exceed five residents. Any change in use or occupancy may trigger further land use review.
2. The Group Residential Facility shall not use commercially-sized waste receptacles or engage in more frequent trash collection services than those which would be typical for a single-family residence in the Hidden River neighborhood. All waste receptacles used on-site shall be adequately buffered and screened from adjacent properties and in accordance with the requirements of the Hidden River HOA.

3. Residents of the Group Residential Facility will not be permitted to keep personal vehicles at the property.
4. Employees of the Group Residential Facility will be responsible for transporting the residents using vehicles that are owned and operated either by the Group Residential Facility or facility employees. Overnight parking of vehicles shall be limited to the existing driveway or garage, and shall be consistent with a typical single-family residential use.
5. The program supports the development of everyday life skills such as laundry, shopping, and medication management. There will be no regularly scheduled commercial deliveries of everyday necessities at the Group Residential Facility. Other deliveries will be consistent with typical residential use.
6. Residential land uses are located together to minimize nuisance impacts and so neighboring residents have an expectation of the quiet enjoyment of their property. Noise and/or other nuisances from the site shall not adversely impact the neighboring properties as defined in Section 6.03 of the Town of Parker Municipal code.
7. The Group Residential Facility property will maintain its residential appearance and character. Any proposed alteration of the Group Residential Facility property shall be subject to applicable Town of Parker Building Code, Land Development Ordinance and Hidden River HOA requirements.
8. This Conditional Use will be subject to annual review as per Town of Parker Land Use Ordinance Section 13.04.200 (d).

Section VII.
Attachments:

1. Vicinity Map
2. Referral Agency/Neighborhood Comments

Section VIII.
Proposed Motion(s):

“I move the Planning Commission recommend the Town Council approve the Conditional Use request for the ARA in Hidden River Group Residential Facility at 20780 Bridlewood Lane subject to the eight conditions contained in staff’s report.”

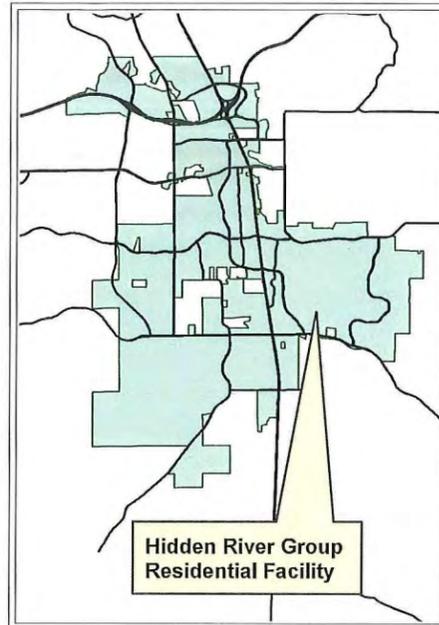


PARKER
C O L O R A D O

**Hidden River F7 B1 L17
Group Residential Facility**

Conditiona Use

Case # Z16-021



Hidden River Group Residential Facility

Legend

-  Site
-  Roads

Narrative:
ARA seeks approval of a Conditional Use for a Group Residential Facility that will serve as a residence for adults with acquired brain injuries.

Planner: Carolyn Parkinson
Hearing Schedules:

Planning Commission:
April 25, 2016

Town Council:
Sept 6, 2016



Hidden River Group Residence

June 22, 2016

20780 Bridlewood Lane
Conditional Use application

Town of Parker
20120 E. Mainstreet
Parker, CO 80138
Attention: Ms. Carolyn Parkinson

Dear Ms. Parkinson:

Thanks to the clarity of Bryce Matthew's email and a little research, Hidden River II Homeowner's Association ("HRII") welcomes the owners of the subject property to our community. HRII is somewhat unclear regarding the subject permit as neither HRII nor its management company received an email from the Town's permitting system and the case number (Z16-~~0~~21) does not appear on the Town's permit system.

It is understood the Conditional Use permit covers a group home for people with brain injuries, as explained by Mr. Matthews.

We researched the HUD website www.hud.gov and discovered it includes specific Housing Quality Standards (HQS) for Group Homes for residents with disabilities. These are located in Section 17 under Group Homes and more specifically 17.4 talks about HQS for homes with residents that have disabilities. We are confident the Town of Parker adopted HUD standards when approving applications. However, for further clarification HRII respectfully requests the Town of Parker please provide responses and commitments from the proposed owner/operator regarding the following issues:

1. How many residents and Aides are planned for this facility?
 - a. HUD does provide specifications and limits. How will the Town inspect for compliance regarding number of residents?
2. How will they handle parking so as not to disturb the balance of the rest of the neighborhood?
3. Upon opening, will the subject property be wheelchair accessible?
 - a. Will hallways be wide enough to accommodate wheelchairs?
 - b. Will doors within the facility be 36" in width?
 - c. The HOA reserves the right to approve the architectural standard for the ramp to ensure it is compatible with the surrounding neighborhood.
4. The HUD Housing Quality Standards dictated that only 4 residents can share a single bathroom.
 - a. What is the ratio in this case?
 - b. Are all bathrooms handicap accessible and equipped?
5. Are there procedures in place if a resident is on a list of sexual predators?
 - a. Should residents with a sexual predator classification be allowed to reside in this home with individuals that cannot protect themselves?
6. Will there be an employee on duty at the facility 24 hours a day?
7. What is the **Safety Plan** for the Group Home? Following is a list of items we would like to have addressed as part of the safety plan:
 - a. Monitoring of residents –
 - i. How will residents be monitored to ensure they do not leave the home?

- ii. Will there be security cameras? Are there an adequate number?
- iii. Will exists be lighted and alarmed on the inside?
- b. Evacuation Plans
 - i. So the neighborhood knows what is happening can the safety and evacuation plans be shared so we can make neighbors aware?
 - ii. In the event if one or more of the residents are found walking the streets, what should we do?
 - iii. Are fire protection sprinkler systems in place? If not what fire protection and suppression options will the facility be equipped with?

Please understand, this a lot of activity planned for a single residence in or community. Frankly, it is the first time a "Group Home" has been established in our community. There will be a lot of residents upset and we need as much information as possible to ensure we all understand what the standards are and what to expect. We only ask that you keep us informed about every step and that we have an opportunity to ask for some concessions and changes if something appears to be egregious. Simple examples are no signs, lighting standards compatible with the neighborhood, parking limitations, architectural compatibility and assurances via the safety plan that the group home residents are safe and our community is safe.

Thank you in advance for your consideration of the above permit application requirements.

Yours very truly,



Robin Backstrom
Hidden River II Homeowner's Association
President

From: [Shirl Norman](#)
To: [Parkinson, Carolyn](#)
Subject: 20785 Bridlewood Lane Hidden River II Sub Division
Date: Thursday, July 14, 2016 3:38:34 AM

Dear Ms. Parkinson,

I have had an opportunity to review the information on the Town Website regarding the Conditional Use for the above property. I am impressed with the outline on the Conditional Use request. In addition, I spoke to one of the Executives of the company who purchased the property. I have no doubt the property will be maintained in pristine condition and used according to information in the "General Criteria for Conditional Use". This home will look no different than any other in HRII. Research has shown that this type of use does not reduce property values.

The home will be regulated and no doubt subject to inspections to ensure compliance with such regulation and licensing requirements.

This property is to be utilized as an assisted living facility for persons that are recovering from traumatic brain injuries. This home offers a much needed alternative to housing in a nursing home or hospital facility.

I respect and understand the concerns and questions of neighbors living right next to the property. I hope that their concerns are soon relieved. I support the Assisted Living facility outlined in the "General Criteria for Conditional Use".

Sincerely,
Shirley Norman
Home Owner, HRII



**Community Development Department Memorandum
Development Review Division**

To: Town of Parker Planning Commission

From: Patrick Mulready, Senior Planner
Bryce Matthews, Planning Manager

Through: John Fussa, Community Development Director

Date: August 25, 2016

Regarding: Public Hearing:
Compark Village South Filing 1 – Minor Development Plat
[Case No. SUB15-0054]

**Section I.
Subject & Proposal:**

Location: South of E-470, north of Grandview Estates subdivision, between Chambers Road and Peoria Street

Applicant: Michael Vickers, 470 Compark LLC

Proposal: The applicant seeks to subdivide the 150.1 acre property in order to establish the right-of-way for Belford Avenue and to plat the balance of the property into a series of 12 unbuildable tracts to be replatted in the future.

**Section II.
Background:**

History: The subject property was annexed in January 2015. The Compark Village PD contemplates single family residential, multi-family residential, commercial and mixed use at this location. There has been no previous attempt to subdivide this property into lots, blocks, tracts and rights-of-way.

Site Data: The site has three single-family residences, one with accessory agricultural use. The site slopes down from a high point adjacent to the Grandview Estates subdivision to E-470 and to the west. The site is also impacted by the 100-Year Floodplain for both Happy Canyon Creek and the Green Acres Tributary, both of which flow north, under E-470.

Land Use Summary Data:

Total Area: 150.12 acres
Zoning: PD – Planned Development: Compark Village
Existing Use: Three single family residences

**Surrounding Zoning
& Land Use:**

North: PD – Planned Development, Compark Village currently vacant, the zoning allows for a variety of light industrial and commercial uses.
PD – Planned Development, E-470 Area with existing E-470 highway.

East: A – Agricultural in Douglas County, known as the Chambers Highpoint property, currently vacant and undeveloped

South: PDNU – Planned Development (Nonurban) in unincorporated Douglas County, Grandview Estates contains single-family residential averaging 2.5 dwelling units per acre

West: PDU – Planned Development (Urban), Airport 320 currently vacant and undeveloped

**Section III.
Analysis:**

Access & Circulation:

The site has no direct access to any existing street. The applicant proposes to create a major collector classification roadway from Peoria Street across the adjacent Airport 320 property and into the Compark Village South property to a temporary terminus at Happy Canyon Creek. The developers of the adjacent Chambers Highpoint property will participate with the developer of Compark Village South in the construction of a bridge over Happy Canyon Creek, and will then extend Belford Avenue east to Chambers Road. Belford Avenue will be the road providing internal access to all future development areas within Compark Village South.

Utilities:

This property is within the Stonegate Village Metropolitan District's service area. Electrical service will be provided by IREA and natural gas will be provided by Xcel Energy. All three have indicated that they have service mains in the vicinity of this site. All three have indicated they can provide the subject property utility improvements pending submission and approval of construction plans.

Drainage, Grading & Erosion Control:

The site slopes up from E-470 to three high point ridges located near the south end of the property adjacent to Grandview Estates. Green Acres Tributary bisects this site near the west end and flows southwest to a confluence with Happy Canyon Creek. Happy Canyon Creek enters the site at its eastern boundary. The applicant proposes to construct two regional detention ponds within Tract B adjacent to the Green Acres Tributary. These ponds will need to be designed in such a way as to ensure they are eligible for maintenance assistance from the Urban Drainage & Flood Control District.

Section IV.

Additional Staff Findings:

The applicant has structured this Minor Development Plat as a super-block subdivision of the land. The plat establishes the alignment for Belford Avenue within the property. The balance of the site is then platted into a series of unbuildable tracts. Tracts A, C, D, G, and H will be replatted in the future to support uses permitted under the Compark Village PD. These include commercial uses for the tracts north of Belford Avenue and residential uses for the tracts south of Belford.

Tracts B and J will contain the major drainage infrastructure improvements including regional detention ponds. These connect with the Green Acres tributary and to the north under E-470. Similarly, Tracts E and F will remain platted as tracts and represent the balance of the property within the Happy Canyon Creek 100-Year Floodplain.

Tracts K and I are open space buffers containing programmed landscaping and a soft surface regional trail buffering the proposed residential uses within Compark Village South from the Grandview Estates residential community.

Finally, Tract L is intended to be dedicated to Douglas County as additional right-of-way for First Street within Grandview Estates in compliance with requirements from South Metro Fire and Rescue Authority's fire access code.

Section V.

Referral Agency Comments:

Below are the condensed versions of referral responses received from affected agencies:

Town of Parker Engineering Dept.:

Applicant must provide sizing calculations for the water quality structures serving Belford Avenue. Also, a water quality device is required on the storm line prior to the connection to the GAT Arch Pipe crossing. Engineering also has six comments related to revisions to the construction plans to be addressed prior to issuance of a grading permit.

Town of Parker Police Department:

No comment

South Metro Fire & Rescue Authority:

No comment

Stonegate Village Metropolitan District:

No comment

Douglas County School District:

No Comment

Cherry Creek Basin Water Quality Authority:

No comment

Urban Drainage & Flood Control District:

No Comment

Xcel Energy:

Xcel reminds the applicant to contact their offices before commencing construction and requests that all applicable easements to support future development be dedicated at the time of replat.

IREA:

Reminds the applicant of existing IREA facilities on site which will need to be removed or relocated as part of construction.

CenturyLink Communications:

No comment

Comcast:

No comment

Centennial Airport:

- The project site lies approximately 4,910 feet from the nearest runway at Centennial Airport and within the Restricted Development Area (RDA). The site lies adjacent to the Approach Zone (AZ) of the Airport Influence Area (AIA). Based on the Airport's Land Use Guidelines, all new noise sensitive developments are prohibited within the RDA. Due to the proximity of the Airport the development will be subjected to numerous aircraft over flights at low altitudes and their associated effects. These effects include, but are not limited to: noise, smoke, dust, fumes and vibrations.
- A 7-day noise test is recommended using single noise event levels (SEL) for developments at this site. It is highly recommended for any development, if approved, that the internal noise be attenuated to 45 DNL or less.
- Due to the high number of operations at Centennial Airport, aircraft will inevitably fly over this site numerous times a day. An Avigation Easement and Overflight Disclosure Statement is recommended prior to the start of construction and once filed, please forward a copy of the executed avigation easement and disclosure statement to our office.

- Any objects on the site (including cranes used during construction) that penetrate a 100:1 slope from the nearest point of the nearest runway, penetrates the FAA Part 77 airspace surface, impede signals associated with navigational equipment or any other reason the FAA deems necessary will require the filing and approval of FAA Form 7460-1. This form may take 90 days or more for approval. Please visit <https://oeaaa.faa.gov> to utilize the notice criteria tool to confirm filing requirements and to file the FAA Form 7460-1. Please note that this is a State and Federal regulatory requirement. Our calculations show that a Form 7460-1 will be required for any associated cranes. In addition, please have crane operators advise

Grandview Estates Neighborhood Association:

No comment

Grandview Estates Rural Water Conservation District:

- Notes that there are identified wildlife corridors on site, and indicates they believe the tracts these areas are preserved within are inadequate. (Staff Response: The wildlife corridors on site consist of the Happy Canyon Creek 100-year floodplain and the Green Acres Tributary. Happy Canyon Creek is a regulatory floodplain as identified by FEMA, and is not being impacted. Green Acres Tributary is not a regulatory floodplain. It has been channelized north of E-470 to a point of common confluence with Happy Canyon Creek north Compark Village. The applicant is employing the same stabilization methodology with the installation of a series of regional detention ponds along the alignment of Green Acres Tributary.)

- Also notes that the existing homes on site will require asbestos mitigation before demolition can occur. (Staff Response: This will occur as part of the issuance of a demolition permit by the Town's building division.)
- GERWCD is concerned with the proximity of development to the stone house on the Kaiser Ranch.
- GERWCD believes open space dedications are inadequate. (Staff Response: It was determined at the time of zoning that the historic structure was not being affected by the development of Compark Village South.)
- Notes that the project is indicating a Filbert Street address, even though Filbert Street was vacated by Douglas County. (Staff Response: Filbert Street is still referenced in the Town's GIS system, as it has not been replaced by any streets since its vacation. This will change when Belford Avenue is constructed.)
- Renews request that Grandview Estate streets will not be used for construction access. (Staff Response: the applicant has agreed that construction access for Belford Road and the public improvements within Compark Village South Filing 1 will come from Peoria Street to the west.)
- Questions whether the applicant has made provisions for water and sanitary sewer service. (Staff Response: a finding was made at the time of annexation and zoning that the Stonegate Village Metropolitan District would be the water and sanitary sewer service provider for the site.)
- Does not believe an adequate Park Facilities Master Plan was provided, nor has tree mitigation been addressed. (Staff response: the Park Facilities Master Plan for this filing includes street scape landscaping, landscaping within the open space tracts and landscaping around the drainage facilities to be constructed with this filing. Those plans are included as an exhibit attachment to this staff report.)

Section VI.

Staff Recommendation:

Staff Recommends that Planning Commission recommend Town Council approve the Compark Village South Filing No. 1 Minor Development Plat subject to the Town's Land Development Ordinance and the following conditions of approval:

1. The final drainage report and construction plans must be corrected to address the comments issued by the Town's Engineering Department on July 15, 2016, prior to the issuance of a grading permit.
2. The applicant must demonstrate compliance with the requests made by Centennial Airport in their comments dated July 21, 2016 as a condition of Probationary Acceptance.
3. All access to the subject property for the purposes of building the public improvements described within Compark Village South Filing 1 Minor Development Plat will come from Peoria Street. Any access for the purposes of asbestos abatement and demolition of the existing structures on the subject property which is proposed to come from streets within Grandview Estates must receive approval from Douglas County, or utilize the same access from Peoria Street.

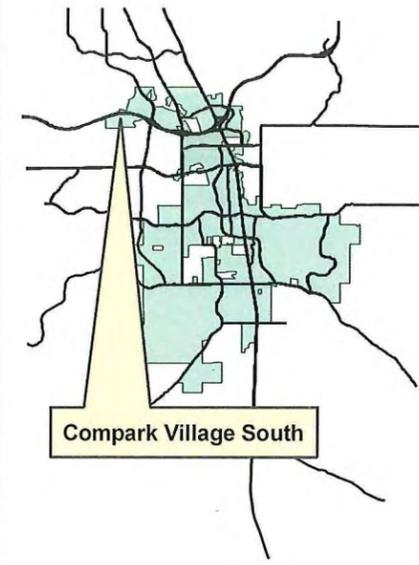
Section VII.
Attachments:

1. Vicinity Map
2. Referral Agency Comments
3. Compark Village South Filing 1 Minor Development Plat Exhibit
4. Compark Village South Filing 1 Park/Facilities Master Plan Exhibit

Section VIII.
Proposed Motion:

"I move the Planning Commission recommend Town Council approve the Compark Village South Filing 1 Minor Development Plat subject to the Town's Land Development Ordinance and the three conditions of approval recommended in Staff's report."

Compark Village South Filing 1
Public Hearings:
Minor Development Plat



Legend

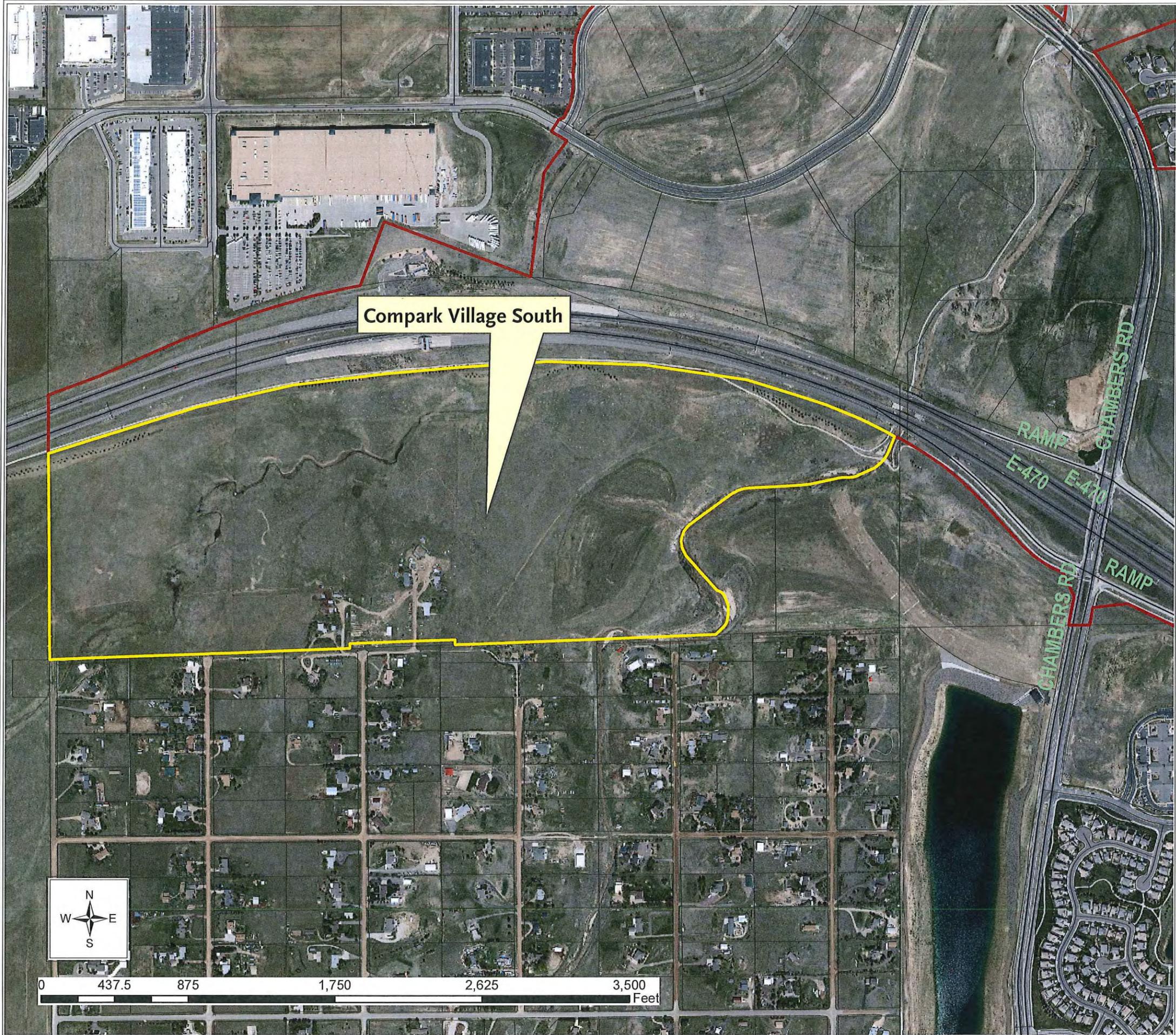
- Town Boundary
- Site
- Roads

Narrative:
Applicant seeks to plat the Compark Village South property to create the Right of Way for Belford Avenue, and establish the internal land use areas as unbuildable tracts to be replatted in the future.

Planner: Patrick Mulready
Hearing Schedules:

Planning Commission:
August 25, 2016

Town Council:
September 6, 2016



Compark Village South Filing 1 Minor Development Plat
SUB15-0054
Referral Agency Notes/Comments to Trakit

Jacob James
DRAINAGE REPORT - STORMWATER
7/15/2016 11:35:02 AM

1. Please provide sizing calculations for the water quality structures serving Belford Avenue. Also, a water quality device is required on the storm line prior to the connection to the GAT Arch Pipe crossing.

Jacob James
CONSTRUCTION PLANS - STORMWATER
7/15/2016 12:17:23 PM

1. Storm Line 5 appears to enter the upper pond below the normal water surface elevation. Please adjust the outlet and FES to daylight above the normal pool elevation.
2. Please provide water quality treatment for storm line 3 prior to entering the GAT Arch Pipe crossing. Also, please provide a connection detail to the conspan.
3. Please provide a concrete maintenance access trail under Belford Avenue adjacent to GAT to eliminate frequent washouts. The trail shall be concrete in all areas below the 100 year water surface elevation.
4. Please change the Mirafi 140N call out on all of the trail sections to tensar grid.
5. Storm profiles 8 and 9 appear to connect to the regional detention pond below the normal pool elevation. Please adjust the profiles to daylight above the normal pool elevation.
6. All other comments are deferred to Urban Drainage and Flood Control District for maintenance eligibility approval.

Brooks Kaufman
IREA 15
4/29/2016 8:41:48 AM

The Association has reviewed the contents in the above-referenced referral response packet. We reviewed the project for maintaining our existing facilities, utility easements, electric loading, and service requirements. We are advising you of the following concerns and comments:

The Association has existing overhead electric facilities on the subject property. The Association will maintain these existing utility easements and facilities unless otherwise requested by the applicant to modify them under the Association's current extension policies.

The Association requires that the applicant maintain proper clearances to the existing overhead electric facilities as defined by the NESC at Station 103 00.

Donna George
Public Service Company of Colorado 15
7/8/2016 12:12:06 PM

PSCo acknowledges the applicant's comment response and advises the applicant continue working with all Xcel Energy personnel involved.

Aaron Repp
Centennial Airport 20
7/21/2016 1:09:49 PM

Thank you for the opportunity to review the Compark Village South F1 MDP Belford Minor Development Plat. Due to the location of the proposed development and its proximity to the Airport, the Arapahoe County Public Airport Authority opposes all residential components of this project. We have the following comments to make on the project:

- The project site lies approximately 4,910 feet from the nearest runway at Centennial Airport and within the Restricted Development Area (RDA). The site lies adjacent to the Approach Zone (AZ) of the Airport Influence Area (AIA). Based on the Airport's Land Use Guidelines, all new noise sensitive developments are prohibited within the RDA. Due to the proximity of the Airport the development will be subjected to numerous aircraft over flights at low altitudes and their associated effects. These effects include, but are not limited to: noise, smoke, dust, fumes and vibrations.
- A 7-day noise test is recommended using single noise event levels (SEL) for developments at this site. It is highly recommended for any development, if approved, that the internal noise be attenuated to 45 DNL or less.
- Due to the high number of operations at Centennial Airport, aircraft will inevitably fly over this site numerous times a day. An Avigation Easement and Overflight Disclosure Statement is recommended prior to the start of construction and once filed, please forward a copy of the executed avigation easement and disclosure statement to our office.
- Any objects on the site (including cranes used during construction) that penetrate a 100:1 slope from the nearest point of the nearest runway, penetrates the FAA Part 77 airspace

surface, impede signals associated with navigational equipment or any other reason the FAA deems necessary will require the filing and approval of FAA Form 7460-1. This form may take 90 days or more for approval. Please visit <https://oeaaa.faa.gov> to utilize the notice criteria tool to confirm filing requirements and to file the FAA Form 7460-1. Please note that this is a State and Federal regulatory requirement. Our calculations show that a Form 7460-1 will be required for any associated cranes. In addition, please have crane operators advise

GRANDVIEW ESTATES
NEIGHBORHOOD ASSOCIATION
P.O. Box 2157, Parker, CO 80134

July 27, 2016

Mr. Patrick Mulready, Senior Planner
Mr. Tom Williams, Director of Engineering
20130 East Main St.
Parker, Colorado 80138

REF: Case Number: SUB15-0054
Application Type: Subdivision Minor Plat Redevelopment
Application Name: Compark Village South F1 MDP Belford

Dear Mr. Mulready and Mr. Williams:

Thank you for granting the Grandview Estates Neighborhood Association (GENA) with the additional time in order to formally respond to this referral notice.

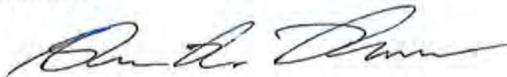
Based on a conversation with Mr. Mulready last week, it is our understanding that the 3rd submittal for case number Sub15-0054 pertains primarily to: the construction of Belford Ave., overall landscape plan, and final drainage report.

The GENA has been in contact with residents on the north boundary of Grandview Estates (GVE) and it is our understanding that all residents involved in the walk-through of the property between GVE and the proposed Compark Village South development are pleased with the possible additional changes to the landscape plan as discussed to date. Residents have indicated that they are working individually with the Town of Parker to finalize these changes.

At this time, the GENA has no further response to any other items covered in the 3rd submittal.

In addition, based on recent conversations and emails with the Town of Parker pertaining to the access through GVE for the demolition of the properties on the north boundary, the GENA will address any issues directly with Douglas County.

Sincerely,



Shannon R. Rasmussen,
President
Grandview Estates Neighborhood Association

The Grandview Estates Rural Water Conservation District

12460 North Third Street, P.O. Box 4292, Parker CO 80134, (303) 805-1690 Phone, (303) 805-2340 Fax
"Working to Preserve Water Resources for Future Generations"

July 21, 2016

Mr. Patrick Mulready, Senior Planner
Mr. Tom Williams, Director of Engineering
20130 East Mainstreet
Parker, Colorado 80138

REF: Case Number: SUB15-0054
Application Type: SUBDIVISION MINOR DEVELOPMENT PLAT
Application Name: Compark Village South F1 MDP Belford

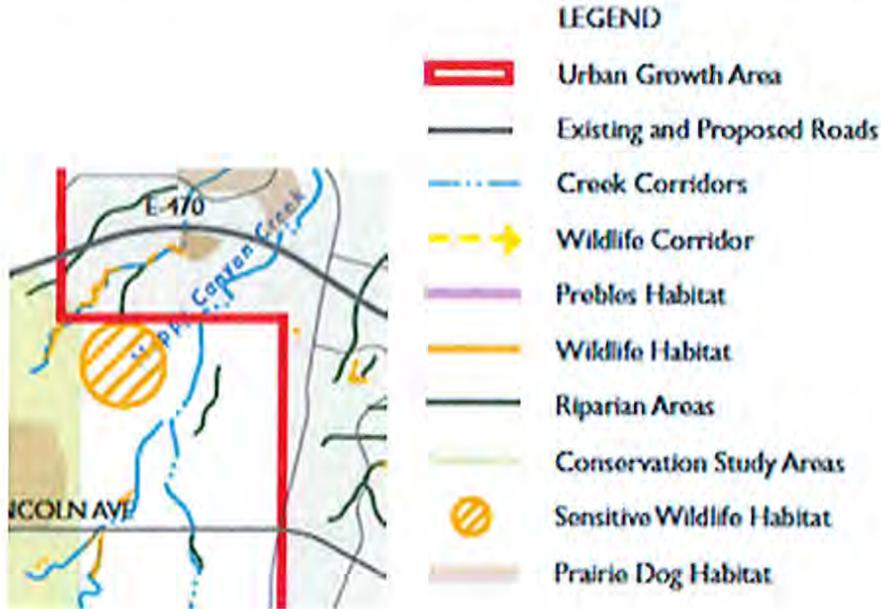
Dear Mr. Mulready and Mr. Williams,

Grandview Estates Homeowners Association (GEHA) has the following concerns related to the above-referenced minor development plat. GEHA states that the following standards below should be applied and have not been met.

1. Riparian Resources.

The Town of Parker Land Development Code 13.07.090(d)(1) provides that a minor development plat must be consistent with the Master Plan. Under goals and strategies, the Master Plan Natural Resource Protection Section 12 requires preservation and protection of plants, animals and their associated ecosystems significant natural areas that provide habitat essential for the conservation of plants, animals, and their associated ecosystems. The section further requires preservation of riparian corridors and wetlands. There is no mention in the application of how the Grandview Tributary and Happy Canyon Creek will be preserved and protected as wildlife corridors and wetlands. The Master Plan identifies a particularly sensitive area in the northwest quadrant of Grandview Estates. Directly north, a dense housing area and major connector highway is contemplated for development by Compark. A small open space is planned in the floodplain area. This is inadequate based upon the Master Plan criteria. See for reference Figure 1 page 2. The Code at 13.07.090 (f) (14) requires delineation of all regulatory one hundred-year floodplains and floodways, all existing and proposed water courses, retention and detention areas, wetlands, known aquifer recharge areas, streams, lakes, inlets, storm sewers and culverts and *environmentally sensitive* areas on the affected property. The environmentally sensitive area on the Master Plan is not considered in the application.

Figure 1. Master Plan Identification of Sensitive Areas for the Project to Consider



2. Hazard Considerations.

The Town of Parker Land Development Code 13.07.090 (e) requires identification of any hazards in the completed land use application. This application by attachment Exhibit D states that there are no hazards. The master plan identifies the flood plain and slope hazards present, see Figures 2-5.

Additionally, there are three existing abandoned homes on the property which will require demolition. Asbestos mitigation is to be implemented for these old homes. These homes are situated close to the southern section line of the property, within 200 feet of a Grandview home, 300 feet of another, and also possibly affecting the historic Stone House (Kaiser Ranch) which sits just south of the northern boundary of Grandview. The Parker Historical Society has already filed its concerns in this subplat application, that heavy machinery, dust, and earth disturbances may well damage the historic home.

Now we are being informed of plans to take demolition traffic and detritus through private property and through Grandview dirt and paved roads, a direct violation of the IGA between Town of Parker and Douglas County that construction traffic will enter by way of newly constructed Belford Avenue from Peoria. Apparently, there is an attempt to make an artificial distinction between “demolition” and “construction”.

The cul de sac at the end of Third was to be used for emergency access only. Review of the Block 31 vacation in 2007 verified that the entry into the two driveways to the north through the cul-de-sacs was identified as the Filbert Avenue Temporary Easement. There is no mention of this demolition, or the cost thereof, in the application. The demolition must be postponed until Belford is open for traffic.

3. Open Space.

The Master Plan Goal states growth shall be appropriately directed and site-planned to sustain our community's needs as we grow. For this subplat, the Master Plan Strategy Section 4D would require increased open space using the criteria set forth in the Open Space, Trails and Greenways Master Plan which emphasize supporting a regional greenway network that provides a community separation buffer from development in neighboring jurisdictions while maintaining the viability and connectivity of the natural ecosystem.

The Neighborhood Center Section of the Master Plan requires for calculation purposes that the gross density exclude the 100-year floodplain as mapped by FEMA and slopes of 20% or greater. Recalculation of the gross density of open space is shown in Table 1, based on visual estimation and deduction of the flood plain Figures 2-4. About 16.8 acres were in the flood plain which reduced the gross density of open space from 14.5% to 10.8%, significantly below the 26% for Parker at large.

The sheet 2 of 4 of the Minor Development Plan accounts for tracts E and F as open space drainage and they are mostly in the flood plain and they are included in the land use summary percentage of total area, which is not consistent with the master plan. The master plan shows 26% open space and trails.

Table 1 Recalculation of Gross Density of Flood Plain and Open Space

Tract	Gross Acres	OS, Acres	% FP	Net Acres	%OS	OS, Acres
A	22.7	0	5	21.6	0	0
B	16.7	0	50	8.4	0	0
C	19.2	0	5	18.2	0	0
D	5.27	5.27	0	5.27	100	5.27
E	1.2	1.2	90	0.12	100	0.12
F	7.79	7.79	75	1.95	100	1.95
G	22.7	0	0	22.7	0	0
H	32.9	0	0	32.9	0	0
I	2.41	0	0	2.41	0	0
J	0.74	0.74	0	0.74	100	0.74
K	5.13	5.13	0	5.13	100	5.13
L	0.17	0	0	0.17	0	0
Total	137	20.1		120		13.2
%		14.7	17.4		11.0	

It is recommended that the gross density of open space be increased to 20% to be consistent with the Master Plan.

Figure 2. Eastern Section of Minor Development Replat Showing Floodplains

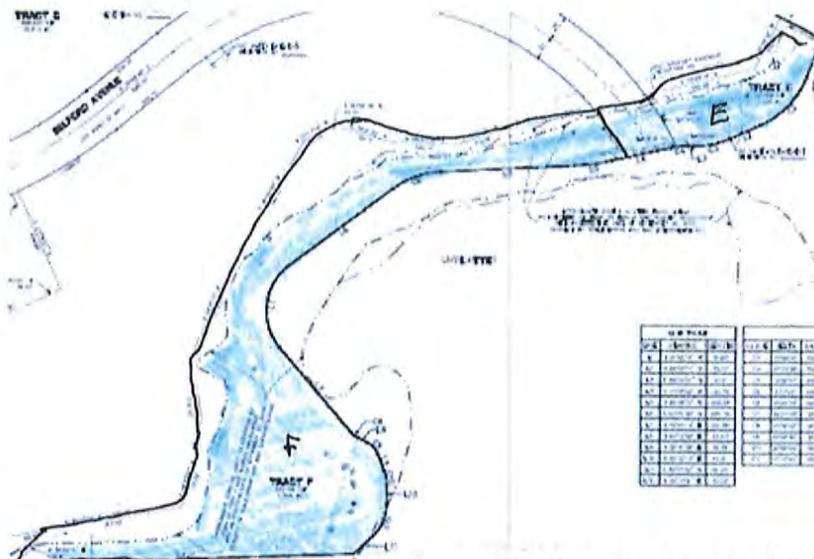


Figure 3. Middle Section of Minor Development Replat Showing Floodplain

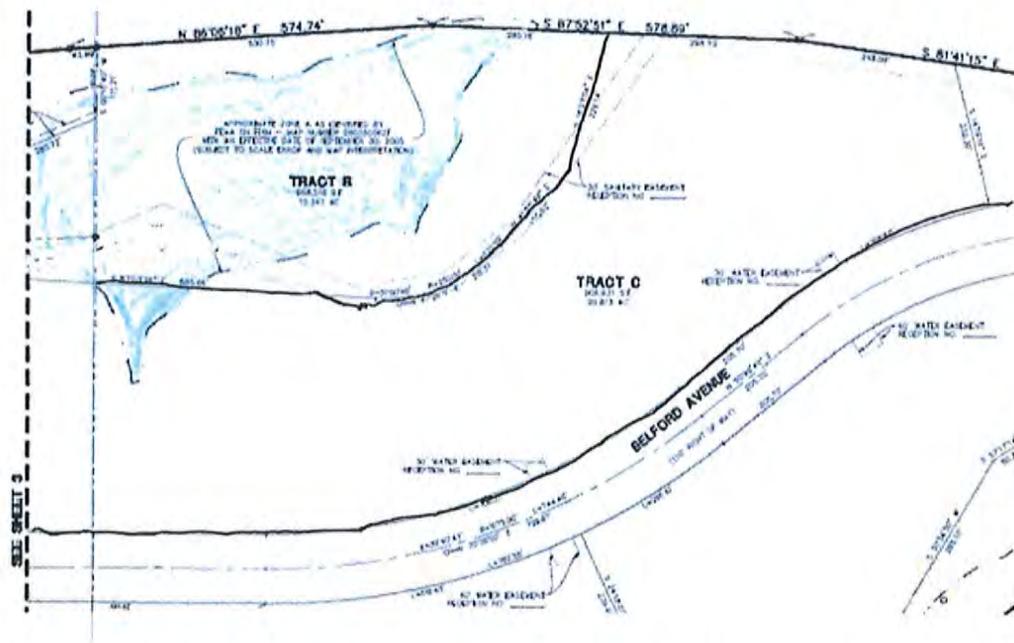
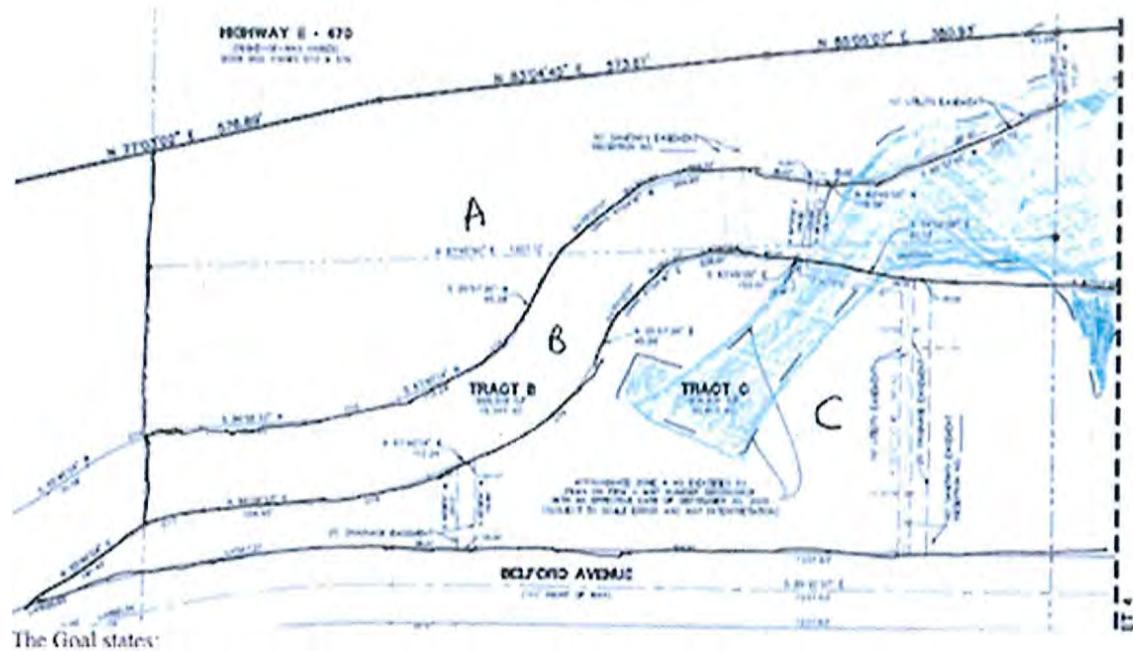
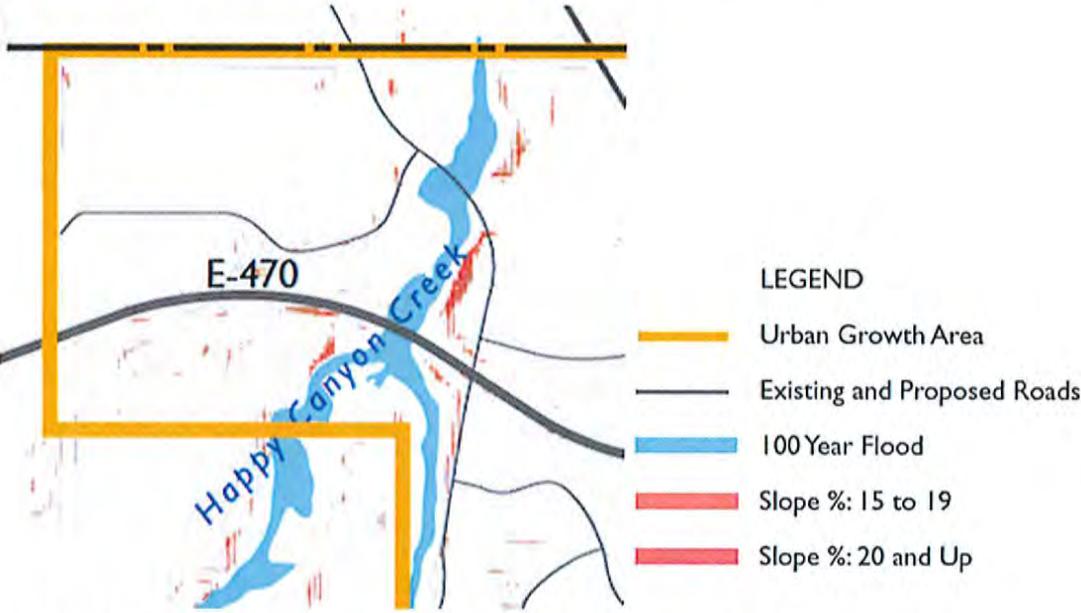


Figure 4. Western Section of Minor Development Replat Showing Floodplains



The Goal states:

Figure 5 Master Plan Map Showing Flood Plain and Steep Slope Hazards



4. Identification of Trails, Plats, Easements and Ownership.

The Town of Parker Land Development Code 3.07.090 (f) (11) provides that all lots, tracts and, when requested by staff, appropriate building envelopes, shall be located, identified and labeled with the appropriate dimension with sufficient linear, bearing and curve data. No ditto marks shall be used for dimensions. All lots and, whenever practical, blocks shall be shown in their entirety on one (1) sheet. The present application includes no lots, only tracts. It is recommended that all planned lots be included on one sheet of

the Minor Development Replat to put the other attributes in perspective. 13.07.090 (f) (13) requires that the purpose, widths and location (with fine dashed lines) of all easements and all abutting easements be included, with the widths of all easements and sufficient data to definitely locate the same with respect to the subdivision and each lot must be shown. All easements must be clearly labeled and identified.

Applicant has identified this development as Filbert Street, which no longer exists and is private property in Grandview. The name and implied right of use should be changed. The minor development plat Page 4 of 4 shows Filbert Street, which was Filbert Avenue, which does not exist there. It also identifies Block 31 where it is vacated, but not where it is not vacated. The following rights of way for the original property owners of the Stone House (Kaiser Ranch) are not shown from deed exceptions (13, 14 and 54) should be shown on the plat.

13. Right-of-Way and easement for ingress and egress and incidental purposes as reserved by Samuel H. Obrecht and Jessie A. Obrecht in Deed recorded January 17, 1969 in [Book 190 at Page 55.](#)
14. Right-of-Way and easement for ingress and egress and incidental purposes as reserved by Samuel H. Obrecht and Jessie A. Obrecht in Deed recorded July 22, 1969 in [Book 195 at Page 301](#)

The creek bed is suitable for equestrian use and the right of way should be labeled.

54. Rights of Way for Happy Canyon Creek Traversing subject Property.

We recommend that the use of Filbert Avenue/Street be discontinued, since it has been mostly vacated and all that is left are some remnants of block 31. There are two remaining sections of block 31 that are used for equestrian purposes:

- Starting at block 3 Lot 6 in Grandview Estates and going East to 5th Street by about 2/3 of block 2 lot 10 as shown in Figure 6.
- Starting at block 2 Lot 11 going west to the end of block 1 lot 6 as shown in Figure 7.

These easements must be identified on the Minor Development Plat

5. Road Construction

The Town of Parker Development Code 13.07.090 (g) (3) requires that a minor development plat include final road construction plans be submitted. There is only a preliminary a road construction report issued in this application. It is crucial at this point to know that the plan will not be further changed, and what we can depend on. A final plan would assure us that roads will

Figure 6. Un-Labeled Remnants of Block 31 by 5th Street

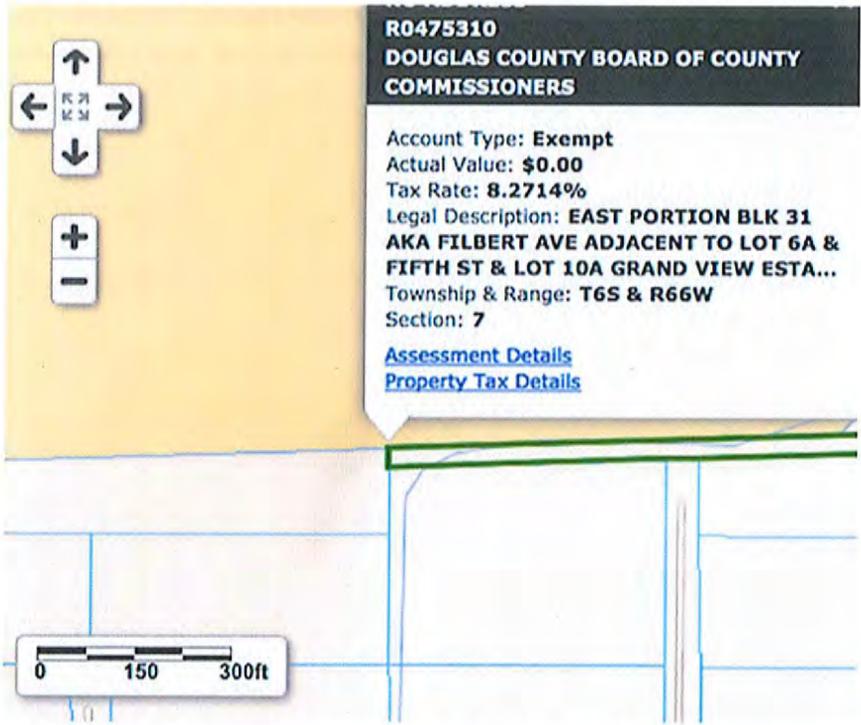
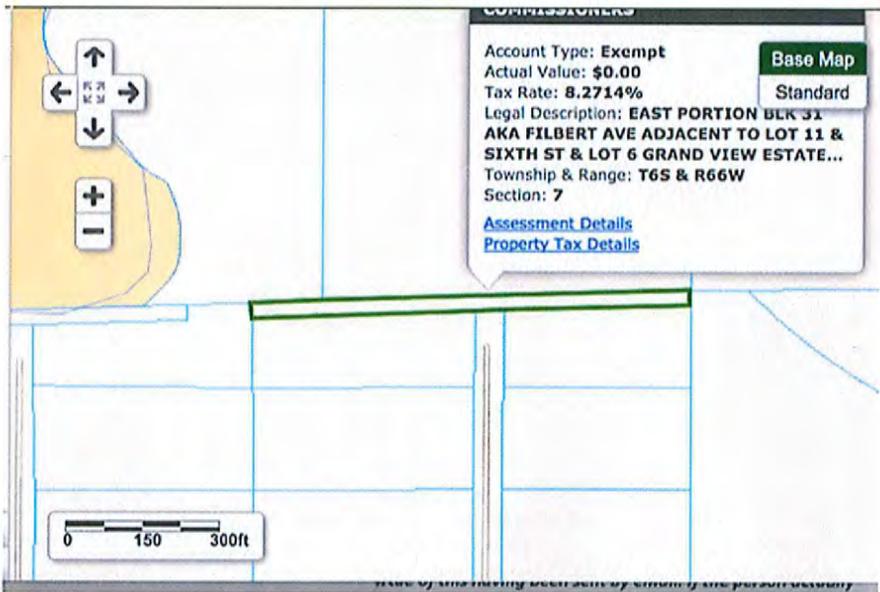


Figure 7. Un-Labeled Remnants of Block 31 by 6th Street



be completed before construction as originally stated (to include construction-related demolition) and that Grandview roads will not be used.

6. Sanitation.

The Town of Parker Development Code 13.07.090 (g) (4) requires evidence of the physical and legal capability to provide sanitation. For a subdivision of land located within a sanitation district, a letter of commitment to serve the proposed subdivision stating the capacity to serve and feasibility of extending service to that area. There is no letter of commitment included in the present application.

7. Water.

The Town of Parker Development Code 13.07.090 (g) (5) requires evidence that an adequate water supply, sufficient in terms of quality and quantity, is available. For a subdivision of land located within a water district, a letter of commitment to serve the proposed subdivision stating the amount of water available for use within the subdivision and the feasibility of extending service to that area. There is no will serve letter included in the present application

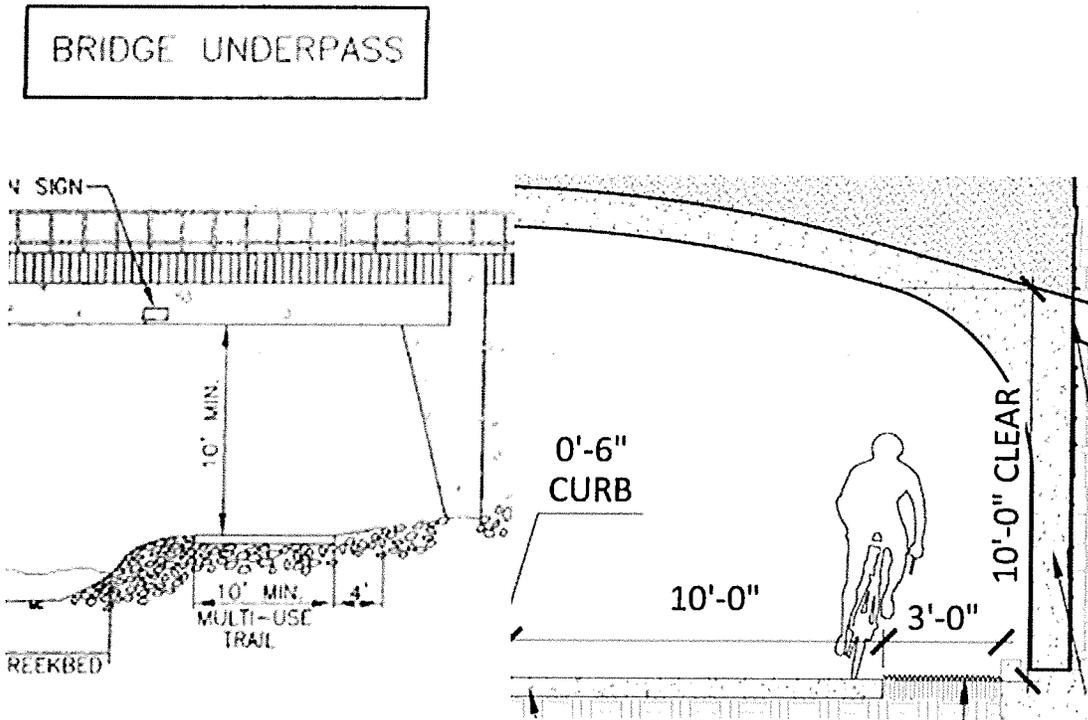
8. Park Facilities Master Plan. The Town of Parker Development Code 13.07.090 (g) (7) requires a park facilities master plan and construction plans. No Park Master Plan has been issued

9. Final Landscape Plan and Tree Conservation

The Town of Parker Development Code 13.07.090 (g) (12) requires tree conservation. There should be notation of the native trees which will be saved. We request that the maximum number of trees be saved, and that the applicant list those trees salvaged. Code 13.07.090 (g) (13) requires a final landscape plan for the subdivision prepared in accordance with the Town of Parker Construction Specifications and Design Consideration for Parks, Trails and Streetscapes that includes road rights-of-way, landscaped tracts and common areas, if applicable.

10' tall and 10' wide trail under bridge on plan LB09 has a 3' wide side buffer width beside the multi-use trail and should have a 4' side buffer width according to Page 33 of Town of Parker Construction Specifications and Design Consideration for Parks, Trails and Streetscapes. See Figure 7. Bridge stream should be labeled Happy Canyon Creek, not Green Acres Tributary. Concrete surfacing must take into account equestrian use.

Figure 7 Comparison of Bridge Underpass with Design Requirement



Sincerely yours,

Charles H. Bucknam
Secretary
Grandview Estates Rural Water Conservation District
A State of Colorado Water Conservancy District

COMPARK VILLAGE SOUTH FILING NO. 1

MINOR DEVELOPMENT PLAT

PLANNING AREAS 13-18 (COMPARK VILLAGE PD - FOURTH AMENDMENT)

PART OF THE SOUTH HALF OF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
12 TRACTS - 150.119 ACRES

SHEET INDEX

- SHEET 1: COVER SHEET, LEGAL DESCRIPTION, NOTES & CERTIFICATES
- SHEET 2: OVERALL BOUNDARY
- SHEETS 3-4: DETAILED DESIGN SHEET

LEGAL DESCRIPTION

PART OF LOTS 19, AND 20, ALL OF LOTS 21, 22, AND 23, AND THAT 40-FOOT RIGHT OF WAY, GREEN ACRES SUBDIVISION RECORDED IN BOOK 1152 AT PAGE 883, AT RECEPTION NO. 105760 OF THE RECORDS OF THE DOUGLAS COUNTY CLERK AND RECORDER TOGETHER WITH PART OF THE SOUTH HALF OF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID SECTION 6 AND CONSIDERING THE WEST LINE OF SAID SOUTHWEST QUARTER OF SECTION 6 TO BEAR NORTH 00°30'14" WEST, AND MONUMENTED AS SHOWN HEREON, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO;

THENCE NORTH 00°30'14" WEST ALONG SAID WEST LINE OF THE SOUTHWEST QUARTER A DISTANCE 1216.44 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE OF HIGHWAY E-470 AS DESCRIBED IN BOOK 902 AT PAGE 573 AND AT BOOK 902 AT PAGE 576 OF THE RECORDS OF THE DOUGLAS COUNTY CLERK AND RECORDER;

THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE THE FOLLOWING TEN (10) COURSES:

- 1) NORTH 72°48'01" EAST A DISTANCE OF 328.41 FEET;
- 2) NORTH 73°02'20" EAST A DISTANCE OF 596.76 FEET;
- 3) NORTH 77°03'02" EAST A DISTANCE OF 576.89 FEET;
- 4) NORTH 83°04'45" EAST A DISTANCE OF 573.61 FEET;
- 5) NORTH 85°05'07" EAST A DISTANCE OF 380.93 FEET;
- 6) NORTH 86°06'18" EAST A DISTANCE OF 574.74 FEET;
- 7) SOUTH 87°52'51" EAST A DISTANCE OF 578.89 FEET;
- 8) SOUTH 81°41'15" EAST A DISTANCE OF 612.23 FEET;
- 9) SOUTH 72°31'23" EAST A DISTANCE OF 371.41 FEET TO A POINT ON A CURVE;
- 10) ALONG A NON-TANGENT CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 105°7'27", A RADIUS OF 3005.03 FEET, AN ARC LENGTH OF 574.70 FEET, THE CHORD OF WHICH BEARS SOUTH 67°01'44" EAST, A DISTANCE OF 573.82 FEET TO A POINT BEING THE NORTHEASTERLY CORNER OF THAT PARCEL OF LAND AS DESCRIBED IN DEED RECORDED UNDER RECEPTION NO. 2010056842 OF THE RECORDS OF THE DOUGLAS COUNTY CLERK AND RECORDER;

THENCE ALONG THE SOUTHEASTERLY LINE OF SAID PARCEL OF LAND THE FOLLOWING NINE (9) COURSES:

- 1) SOUTH 21°56'14" WEST, A DISTANCE OF 91.83 FEET TO A POINT OF CURVATURE;
- 2) ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 43°58'01", A RADIUS OF 200.00 FEET AND AN ARC LENGTH OF 153.47 FEET, THE CHORD OF WHICH BEARS SOUTH 43°55'15" WEST, A DISTANCE OF 149.74 FEET;
- 3) SOUTH 69°54'15" WEST, A DISTANCE OF 75.57 FEET TO A POINT OF CURVATURE;
- 4) ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 24°33'38", A RADIUS OF 200.00 FEET AND AN ARC LENGTH OF 85.73 FEET, THE CHORD OF WHICH BEARS SOUTH 70°11'04" WEST, A DISTANCE OF 83.08 FEET;
- 5) NORTH 89°32'07" WEST, A DISTANCE OF 9.07 FEET TO A POINT OF CURVATURE;
- 6) ALONG THE ARC OF A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 12°56'47", A RADIUS OF 200.00 FEET AND AN ARC LENGTH OF 45.19 FEET, THE CHORD OF WHICH BEARS SOUTH 83°59'30" WEST, A DISTANCE OF 45.10 FEET;
- 7) SOUTH 77°31'06" WEST, A DISTANCE OF 135.79 FEET TO A POINT OF CURVATURE;
- 8) ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 09°27'04", A RADIUS OF 500.00 FEET AND AN ARC LENGTH OF 82.48 FEET, THE CHORD OF WHICH BEARS SOUTH 82°14'36" WEST, A DISTANCE OF 82.38 FEET;
- 9) SOUTH 86°58'10" WEST, A DISTANCE OF 149.52 FEET TO A POINT BEING THE NORTHEASTERLY CORNER OF THAT PARCEL OF LAND AS DESCRIBED IN DEED RECORDED UNDER RECEPTION NO. 2010056677 OF THE RECORDS OF THE DOUGLAS COUNTY CLERK AND RECORDER;

THENCE ALONG THE NORTHWESTERLY LINE OF SAID PARCEL OF LAND THE FOLLOWING THIRTEEN (13) COURSES:

- 1) SOUTH 86°58'10" WEST, A DISTANCE OF 158.57 FEET TO A POINT OF CURVATURE;
- 2) ALONG THE ARC OF A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 33°25'14", A RADIUS OF 200.00 FEET AND AN ARC LENGTH OF 116.66 FEET, THE CHORD OF WHICH BEARS SOUTH 70°15'33" WEST, A DISTANCE OF 115.01 FEET;
- 3) SOUTH 53°32'56" WEST, A DISTANCE OF 294.75 FEET TO A POINT OF CURVATURE;
- 4) ALONG THE ARC OF A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 94°27'12", A RADIUS OF 125.00 FEET AND AN ARC LENGTH OF 206.07 FEET, THE CHORD OF WHICH BEARS SOUTH 06°19'20" WEST, A DISTANCE OF 183.51 FEET;
- 5) SOUTH 40°54'16" EAST, A DISTANCE OF 251.99 FEET TO A POINT OF CURVATURE;
- 6) ALONG THE ARC OF A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 20°09'03", A RADIUS OF 100.00 FEET AND AN ARC LENGTH OF 35.17 FEET, THE CHORD OF WHICH BEARS SOUTH 10°38'24" EAST, A DISTANCE OF 34.99 FEET;
- 7) SOUTH 00°32'10" EAST, A DISTANCE OF 40.51 FEET TO A POINT OF CURVATURE;
- 8) ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 47°17'03", A RADIUS OF 100.00 FEET AND AN ARC LENGTH OF 82.53 FEET, THE CHORD OF WHICH BEARS SOUTH 23°06'21" WEST, A DISTANCE OF 80.20 FEET;
- 9) SOUTH 46°44'52" WEST, A DISTANCE OF 59.24 FEET TO A POINT ON THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 6;
- 10) SOUTH 87°49'19" WEST, ALONG SAID SOUTH LINE, A DISTANCE OF 1546.96 FEET TO THE SOUTHEAST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 6, SAID POINT ALSO BEING THE SOUTHEASTERLY CORNER OF THAT RIGHT-OF-WAY PARCEL DESCRIBED IN BOOK 195 AT PAGE 310 OF THE RECORDS OF THE DOUGLAS COUNTY CLERK AND RECORDER;
- 11) NORTH 00°17'01" EAST ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER OF SECTION 6, A DISTANCE OF 30.03 FEET;
- 12) SOUTH 87°55'04" WEST ALONG A LINE THIRTY FEET NORTHERLY DISTANT, WHEN MEASURED AT RIGHT ANGLES, AND PARALLEL WITH THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SOUTHWEST QUARTER OF SECTION 6, A DISTANCE OF 626.87 FEET;
- 13) SOUTH 00°42'41" WEST A DISTANCE OF 30.04 FEET TO A POINT ON SAID SOUTH LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 6;

THENCE SOUTH 87°55'04" WEST, ALONG SAID SOUTH LINE, A DISTANCE OF 709.76 FEET TO THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 6;

THENCE SOUTH 87°55'04" WEST, ALONG SAID SOUTH LINE, A DISTANCE OF 1085.67 FEET TO THE POINT OF BEGINNING, CONTAINING A CALCULATED AREA OF 6,539,184 SQUARE FEET OR 150.119 ACRES, MORE OR LESS.

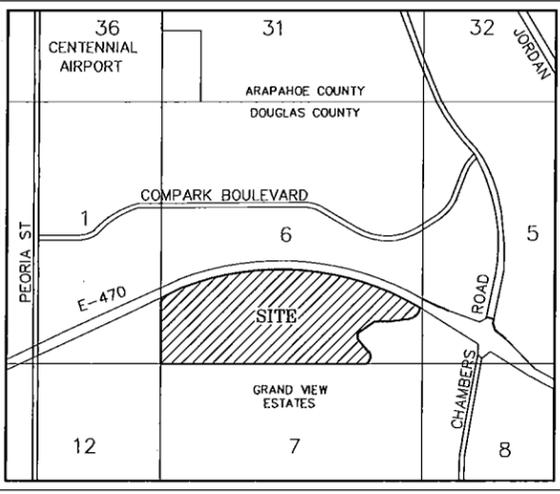
DEDICATION STATEMENT

THE UNDERSIGNED, BEING ALL THE OWNERS, MORTGAGEES, BENEFICIARIES OF DEEDS OF TRUST AND HOLDERS OF OTHER INTERESTS OF THE LANDS DESCRIBED HEREIN, HAVE LAID OUT, SUBDIVIDED AND PLATTED SAID LANDS INTO TEN TRACTS, ONE STREET AND EASEMENTS AS SHOWN HEREON UNDER THE NAME AND SUBDIVISION OF COMPARK VILLAGE SOUTH FILING NO. 1.

THE UTILITY EASEMENTS AS SHOWN HEREON ARE HEREBY DEDICATED FOR PUBLIC UTILITIES AND CABLE COMMUNICATION SYSTEMS AND OTHER PURPOSES AS SHOWN HEREON. THE ENTITIES ARE RESPONSIBLE FOR PROVIDING THE UTILITY SERVICES FOR WHICH THE EASEMENTS ARE ESTABLISHED ARE HEREBY GRANTED THE PERPETUAL RIGHT OF INGRESS AND EGRESS FROM AND TO ADJACENT PROPERTIES FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF UTILITY LINES AND RELATED FACILITIES. THE OWNERS OF THE LANDS DESCRIBED HEREON ARE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF DRAINAGE EASEMENTS SHOWN HEREON AND RELATED FACILITIES, AS PROVIDED IN THE STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL, AS AMENDED. THE UNDERSIGNED GRANTS THE TOWN OF PARKER A PERPETUAL RIGHT OF INGRESS AND EGRESS FROM AND TO ADJACENT PROPERTY TO MAINTAIN, OPERATE AND RECONSTRUCT THE DRAINAGE EASEMENTS AND RELATED FACILITIES COVERED BY CHAPTER 4.08 OF THE PARKER MUNICIPAL CODE, AS AMENDED; AND TO MAINTAIN, OPERATE AND RECONSTRUCT THE DRAINAGE EASEMENTS AND RELATED FACILITIES NOT COVERED BY CHAPTER 4.08 OF THE PARKER MUNICIPAL CODE AS AMENDED, WHEN THE OWNER(S) FAIL TO ADEQUATELY MAINTAIN SUCH DRAINAGE EASEMENTS AND RELATED FACILITIES, WHICH MAINTENANCE, OPERATION AND RECONSTRUCTION SHALL BE AT THE COST OF THE OWNER(S).

ALL PUBLIC STREETS AND RIGHTS-OF-WAY SHOWN HEREON ARE DEDICATED AND CONVEYED TO THE TOWN OF PARKER, COLORADO, IN FEE SIMPLE ABSOLUTE, FOR PUBLIC USES AND PURPOSES. DRAINAGE AND DETENTION EASEMENTS AS SHOWN HEREON ARE HEREBY DEDICATED TO THE TOWN. THE TOWN IS HEREBY GRANTED THE PERPETUAL RIGHT OF INGRESS AND EGRESS FROM AND TO THE ADJACENT PROPERTIES FOR CONSTRUCTION, REPAIR, MAINTENANCE, OPERATION AND REPLACEMENT OF STORM SEWERS AND DRAINAGE FACILITIES. THE UNDERSIGNED GRANTS TO THE TOWN A SIGHT EASEMENT(S) AS SHOWN HEREON WITHIN THE SUBDIVISION TO MAINTAIN ADEQUATE SIGHT DISTANCE AT ALL ROADWAY INTERSECTIONS AS PROVIDED BY THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL, AS AMENDED.

THE TOWN IS HEREBY GRANTED THE PERPETUAL RIGHT OF INGRESS AND EGRESS ACROSS ALL LOTS AND TRACTS WITHIN THE SUBDIVISION TO REMOVE ANY OBSTRUCTION TO THE PROPER SITE DISTANCE, INCLUDING, BUT NOT LIMITED TO, ANY STRUCTURE, FENCE, UTILITY BOX, RAISED MEDIAN AND LANDSCAPING, AT THE SOLE COST AND EXPENSE OF THE OWNER OF THE LOT AND/OR TRACT UPON WHICH SUCH OBSTRUCTION IS SITUATED. THE OWNERS OR ADJACENT PROPERTY OWNERS OF THE LANDS ARE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF SIGHT EASEMENTS SHOWN HEREON. WHEN THE OWNER(S) OR ADJACENT OWNERS FAIL TO ADEQUATELY MAINTAIN SUCH SIGHT EASEMENTS, THE MAINTENANCE, OPERATION AND RECONSTRUCTION SHALL BE AT THE COST OF THE OWNER(S).



VICINITY MAP (NOT TO SCALE)

TITLE VERIFICATION

WE, FIDELITY NATIONAL TITLE INSURANCE COMPANY, A QUALIFIED TITLE INSURANCE COMPANY, DO HEREBY CERTIFY THAT WE HAVE EXAMINED THE TITLE OF ALL LAND PLATTED HEREON AND THAT TITLE TO SUCH LAND IS IN THE DEDICATOR(S) FREE AND CLEAR OF ALL LIENS, TAXES AND ENCUMBRANCES, EXCEPT FOR TAXES FOR THE YEAR _____ AND SUBSEQUENT YEARS, EXCEPT FOR ALL COVENANTS, CONDITIONS, RESTRICTIONS, RESERVATIONS, EASEMENTS AND RIGHTS OF WAY OF RECORD, AS SHOWN ON FIDELITY NATIONAL TITLE INSURANCE COMPANY COMMITMENT NO. F231491, EFFECTIVE DATE JULY 16, 2015 AT 7:30 A.M.

DATE: _____ COMPANY NAME: _____

SATE OF COLORADO }
COUNTY OF _____ } SS

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____, BY _____ OF _____

WITNESS MY HAND AND OFFICIAL SEAL. MY COMMISSION EXPIRES _____

NOTARY PUBLIC _____ ADDRESS _____

PLANNING COMMISSION

THIS MINOR DEVELOPMENT PLAT WAS REVIEWED BY THE PLANNING COMMISSION ON _____

PLANNING DIRECTOR, ON BEHALF OF THE PLANNING COMMISSION _____

ACKNOWLEDGEMENT

THE UNDERSIGNED, BEING ALL THE OWNERS, MORTGAGEES, BENEFICIARIES OF DEEDS OF TRUST AND HOLDERS OF OTHER INTERESTS OF THE LANDS DESCRIBED HEREIN, HEREBY ACKNOWLEDGE THAT ANY SUBDIVISION APPROVAL OBTAINED BY THE TOWN OF PARKER DOES NOT OBTAIN SAID UNDERSIGNED'S NEED OR RESPONSIBILITY TO COMPLY WITH THE REQUIREMENTS OF THE ENDANGERED SPECIES ACT OF 1973, 16U.S.C. 1531, et seq., AS AMENDED, OR WITH ANY OTHER APPLICABLE FEDERAL, STATE OR LOCAL LAWS OR REGULATIONS.

OWNER

OWNER: 470 COMPARK LLC, A COLORADO LIMITED LIABILITY COMPANY

BY: _____ ATTEST: _____
NAME: _____ TITLE: PRESIDENT NAME: _____ TITLE: SECRETARY/TREASURER

SATE OF COLORADO }
COUNTY OF _____ } SS

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____, BY _____ AS PRESIDENT AND _____ AS SECRETARY/TREASURER OF 470 COMPARK LLC, A COLORADO LIMITED LIABILITY COMPANY.

WITNESS MY HAND AND OFFICIAL SEAL. MY COMMISSION EXPIRES _____

NOTARY PUBLIC _____ ADDRESS _____

SURVEYOR'S CERTIFICATION

I, BRIAN J. PFOHL, A DULY REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS PLAT TRULY AND CORRECTLY REPRESENTS THE RESULTS OF A SURVEY MADE ON AUGUST 3, 2015, BY ME OR UNDER MY DIRECT SUPERVISION AND THAT ALL MONUMENTS EXIST AS SHOWN HEREON; THAT MATHEMATICAL CLOSURE ERRORS ARE LESS THAN 1:50,000 (SECOND ORDER); AND THAT SAID PLAT HAS BEEN PREPARED IN FULL COMPLIANCE WITH ALL APPLICABLE LAWS OF THE STATE OF COLORADO DEALING WITH MONUMENTS, SUBDIVISIONS OR SURVEYING OF LAND AND ALL PROVISIONS, WITHIN MY CONTROL, OF THE TOWN SUBDIVISION REGULATIONS.

I ATTEST THE ABOVE ON JUNE 26, 2016.



BRIAN J. PFOHL
COLORADO PLS NO. 38445
FOR AND ON BEHALF OF MANHARD CONSULTING
8008 E. ARAPAHOE COURT, SUITE 110
CENTENNIAL, COLORADO 80112
(303) 708-0500

NOTES

1. NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT, IN NO EVENT MAY ANY ACTION BE BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
2. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
3. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY MANHARD CONSULTING TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING EASEMENTS, RIGHTS-OF-WAY, AND TITLE OF RECORD, MANHARD CONSULTING RELIED UPON THE TITLE COMMITMENT PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NO. F231491 WITH AN EFFECTIVE DATE OF JULY 16, 2015 AT 7:30 AM.
4. THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON(S) OR ENTITY(S) NAMED IN THE CERTIFICATE HEREON. SAID CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PERSON(S) OR ENTITY(S) WITHOUT AN EXPRESS RECERTIFICATION BY THE SURVEYOR NAMING SAID PERSON(S) OR ENTITY(S).
5. THE LINEAL UNIT USED IN THE PREPARATION OF THIS PLAT IS THE U.S. SURVEY FOOT AS DEFINED BY THE UNITED STATES DEPARTMENT OF COMMERCE, NATIONAL INSTITUTE OF STANDARDS AND TECHNOLOGY.
6. BASIS OF BEARINGS: THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN IS ASSUMED TO BEAR NORTH 00°30'14" WEST BETWEEN THE FOUND MONUMENTS AS SHOWN AND DESCRIBED HEREON.
7. FLOODPLAIN: A PORTION OF THE SURVEYED PROPERTY IS LOCATED WITHIN FLOODWAY AREA IN ZONE AE, SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD WHERE BASE FLOOD ELEVATIONS HAVE BEEN DETERMINED AND WHERE THE FLOODWAY OF THE CHANNEL OF A STREAM PLUS ANY ADJACENT FLOODPLAIN AREAS THAT MUST BE KEPT FREE OF ENCROACHMENT SO THAT THE 1% ANNUAL CHANCE FLOOD CAN BE CARRIED WITHOUT SUBSTANTIAL INCREASES IN FLOOD HEIGHTS; A PORTION OF THE SURVEYED PROPERTY IS LOCATED WITHIN ZONE X, SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD WHERE NO BASE FLOOD ELEVATIONS HAVE BEEN DETERMINED; A PORTION OF THE SURVEYED PROPERTY IS LOCATED IN ZONE X, OTHER FLOOD AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD; A PORTION OF THE SURVEYED PROPERTY IS LOCATED WITHIN ZONE X, OTHER AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) ON FLOOD INSURANCE RATE MAPS (FIRM) - MAP NUMBERS 08035C0062G AND 08035C0066G, BOTH WITH AN EFFECTIVE DATE OF MARCH 10, 2016.
8. TRACT C WILL NOT BE REPLATTED FOR DEVELOPMENT UNTIL A LOMR HAS BEEN COMPLETED REMOVING THE TRACT FROM THE FLOODPLAIN.
9. A REGIONAL STORM WATER DETENTION AND WATER QUALITY POND FOR THE BENEFIT OF ALL TRACTS, WILL BE CONSTRUCTED ON TRACTS B AND J. A BLANKET DRAINAGE EASEMENT IS HEREBY DEDICATED TO THE TOWN OF PARKER OVER AND ACROSS TRACTS B AND J, FOR THE PURPOSE OF ACCESSING, MAINTAINING, AND REPAIRING STORMWATER MANAGEMENT IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, RIP RAP, DETENTION BASINS, FOREBAYS, MICROPOOLS, AND WATER QUALITY FACILITIES IN THE EVENT THAT THE PROPERTY OWNER FAILS TO SATISFACTORILY MAINTAIN OR REPAIR SAID FACILITIES.
10. TRACTS A, C, G AND H ARE HEREBY ESTABLISHED AS PARCELS TO BE REPLATTED IN THE FUTURE INTO BUILDABLE LOTS. AT SUCH TIME AS A REPLAT IS APPROVED FOR THESE TRACTS, PUBLIC IMPROVEMENTS ASSOCIATED WITH THE RESULTING LOTS WILL BE DETERMINED BY A SIGNED AND FINANCIALLY SECURED SUBDIVISION IMPROVEMENT AGREEMENT (SIA) WITH EACH REPLAT APPLICATION. NO PORTION OF THE TRACTS SHALL BE DEVELOPED, INCLUDING BUT NOT LIMITED TO STAKING, EARTHWORK, OVERLOT GRADING, OR THE ERECTION OF ANY STRUCTURE, TEMPORARY OR OTHERWISE, UNTIL SITE PLAN APPROVAL IS OBTAINED.
11. AFTER RECORDING THIS PLAT, OWNERSHIP OF TRACTS B, D AND E ARE TO BE CONVEYED SEPARATELY BY A SPECIAL WARRANTY DEED TO BELFORD NORTH METROPOLITAN DISTRICT.
12. AFTER RECORDING THIS PLAT, OWNERSHIP OF TRACTS F, I, J AND K ARE TO BE CONVEYED SEPARATELY BY A SPECIAL WARRANTY DEED TO BELFORD SOUTH METROPOLITAN DISTRICT.
13. AFTER RECORDING THIS PLAT, OWNERSHIP OF TRACT L IS TO BE CONVEYED SEPARATELY BY A SPECIAL WARRANTY DEED TO DOUGLAS COUNTY.
14. THE PRIVATE DETENTION FACILITIES PROPOSED IN THE ASSOCIATED CONSTRUCTION PLANS WILL BE THE MAINTENANCE RESPONSIBILITY OF THE PROPERTY OWNER AND MUST BE MAINTAINED ACCORDING TO "STORMWATER MANAGEMENT FACILITY OPERATION AND MAINTENANCE MANUAL". THE TOWN OF PARKER WILL BE NOT RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THIS FACILITY.
15. 470 COMPARK LLC SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL AREAS OF RIGHT-OF-WAY DEDICATED BY THIS PLAT UNTIL THE ROADWAYS LOCATED WITHIN THEM HAVE BEEN CONSTRUCTED AND ACCEPTED BY THE TOWN OF PARKER.

APPROVAL OF TOWN COUNCIL

THIS PLAT IS HEREBY APPROVED BY THE TOWN COUNCIL AND/OR, WHERE APPLICABLE, THE PLANNING DIRECTOR AND PUBLIC WORKS DIRECTOR OF THE TOWN OF PARKER, COLORADO, ON THE _____ DAY OF _____, 20____, FOR FILING IN THE OFFICE OF THE DOUGLAS COUNTY CLERK AND RECORDER. THE DEDICATIONS ARE HEREBY ACCEPTED.

FIRST STREET IS HEREWIT AMENDED BY THIS PLAT WHICH IS HEREBY APPROVED BY THE TOWN COUNCIL OF THE TOWN OF PARKER, COLORADO, FOR FILING IN THE OFFICE OF THE DOUGLAS COUNTY CLERK AND RECORDER. SUBJECT TO ALL COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED AGAINST AND APPURTENANT TO THE GREEN ACRES SUBDIVISION PLAT RECORDED IN THE OFFICE OF THE DOUGLAS COUNTY CLERK AND RECORDER, RECEPTION NO. 105460.

ALL EXPENSES INCURRED WITH RESPECT TO IMPROVEMENTS FOR ALL UTILITY SERVICES, PAVING, GRADING, CURBS, GUTTER, SIDEWALKS, ROAD LIGHTING, ROAD SIGNS, FLOOD PROTECTION DEVICES, DRAINAGE STRUCTURES AND ALL OTHER IMPROVEMENTS THAT MAY BE REQUIRED SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER AND NOT THE TOWN OF PARKER. THE TOWN SHALL ONLY ACCEPT MAINTENANCE OF THE ROADWAY IMPROVEMENTS AFTER CONSTRUCTION HAS BEEN COMPLETED, AND AFTER THE WARRANTY PERIOD, IN ACCORDANCE WITH TOWN REGULATIONS.

THIS ACCEPTANCE DOES NOT GUARANTEE THAT THE SOIL CONDITIONS, SUBSURFACE GEOLOGY, GROUNDWATER CONDITIONS OR FLOODING CONDITIONS OF ANY LOT SHOWN HEREON ARE SUCH THAT A BUILDING PERMIT WILL BE ISSUED.

MAYOR, TOWN OF PARKER _____ ATTEST: _____
TOWN CLERK

CLERK & RECORDER'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY, COLORADO ON THE _____ DAY OF _____, 20____, AT _____ O'CLOCK _____ M.

RECEPTION NO. _____

BY: _____ DEPUTY

BY: _____ COUNTY CLERK AND RECORDER

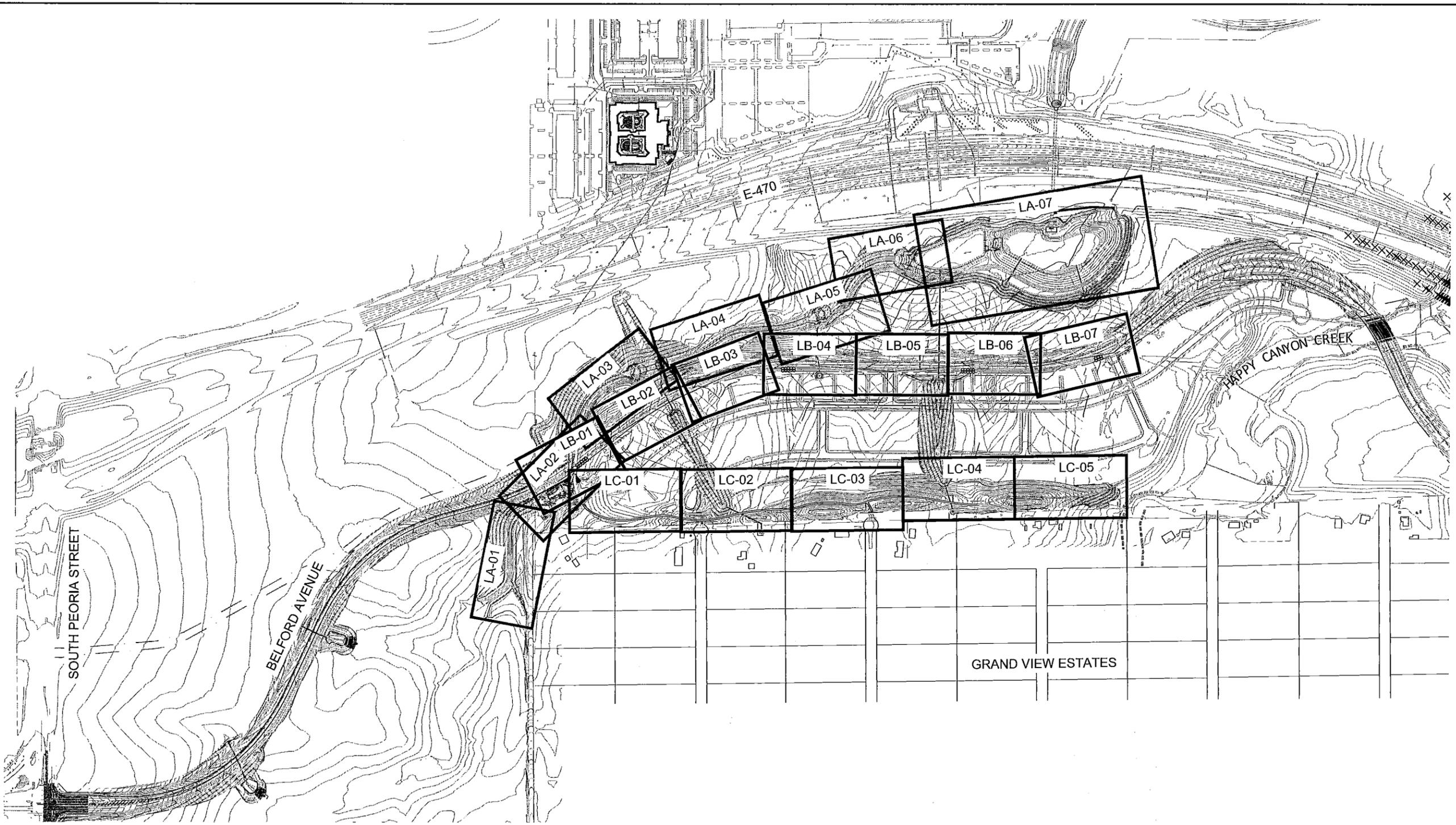
Manhard Consulting Ltd
3008 E. Arapahoe Court, Suite 110, Centennial, CO 80112
Civil Engineers • Surveyors • Water Resource Engineers • Wetland & Watershed Engineers • Planners
Construction Management • Environmental Sciences • Landscape Architecture • Planning

COMPARK VILLAGE SOUTH FILING NO. 1
TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO
MINOR DEVELOPMENT PLAT

PROJ. NO. LCPKC3.03
DRAWN BY: BJP
DATE: 11/23/15
SCALE: N/A

SHEET 1 OF 4
00C.LCPKC3.03

Project: 7/1/2016 8:51 PM
 Draw Name: L:\7861-000_Velera_Trust-Ht_Belford_04_CAD\A1_Sheet\160707_7861_Landscape_Plan-ecdn.dwg
 Updated By: bbecky



UPLAND NATIVE SEED MIX					
SYM.	COMMON NAME, VARIETY	SCIENTIFIC NAME	100% PLS/WAC	% OF TOTAL	PLS/WAC
	WESTERN WHEATGRASS, ARRIBA	PASCOPYRUM SMITHII	13.47	44.03	5.93
	BLUE GRAMA, LOVINGSTON	BOUTELOUA GRACILIS	1.92	6.29	0.12
	SIDEOATS GRAMA, HACHITA	BOUTELOUA CURTIPENDULA	2.89	9.43	0.27
	SWITCHGRASS, TRAILBLAZER	PANICUM VIRGATUM	0.96	3.14	0.03
	YELLOW INDIANGRASS, HOLT	SORGHASTRUM NUTANS	2.31	7.55	0.17
	JUNEGRASS	KOELERIA MACRANTHERA ELYMUS TRACHYCALUS	0.19	0.63	0.00
	SLENDER WEATGRASS	SUBSP, TRACHYCALUS	3.85	12.58	0.48
	BIG BLUESTEM, KAW	ANDROPOGON GERARDII	2.70	8.81	0.24
	PUBESCENT WHEATGRASS	AGROPYRON TRICHOPHORUM	2.31	7.54	0.17
	TOTAL		30.50	100.00	7.43

REVEGETATION SERIES PAGE INDEX

- LA SERIES DRAINAGE REVEGETATION & DROP STRUCTURES LA 01 - LA 08
- LB SERIES BELFORD AVE STREETScape LB 01 - LB 10
- LC SERIES OPEN SPACE LANDSCAPE AND TRAIL LC 01 - LC 06

LA SERIES SHEET SET NOT INCLUDED IN THIS SUBMITTAL

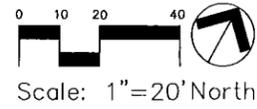
THIRD SUBMITTAL
MINOR DEVELOPMENT PLAN



DATE	
REVISION	

Manhard CONSULTING LTD
 associates inc.
 2953 South Peoria Street, Ste 101
 Aurora, Colorado 80014
 303.681.1323
 E-MAIL: info@manhard.com

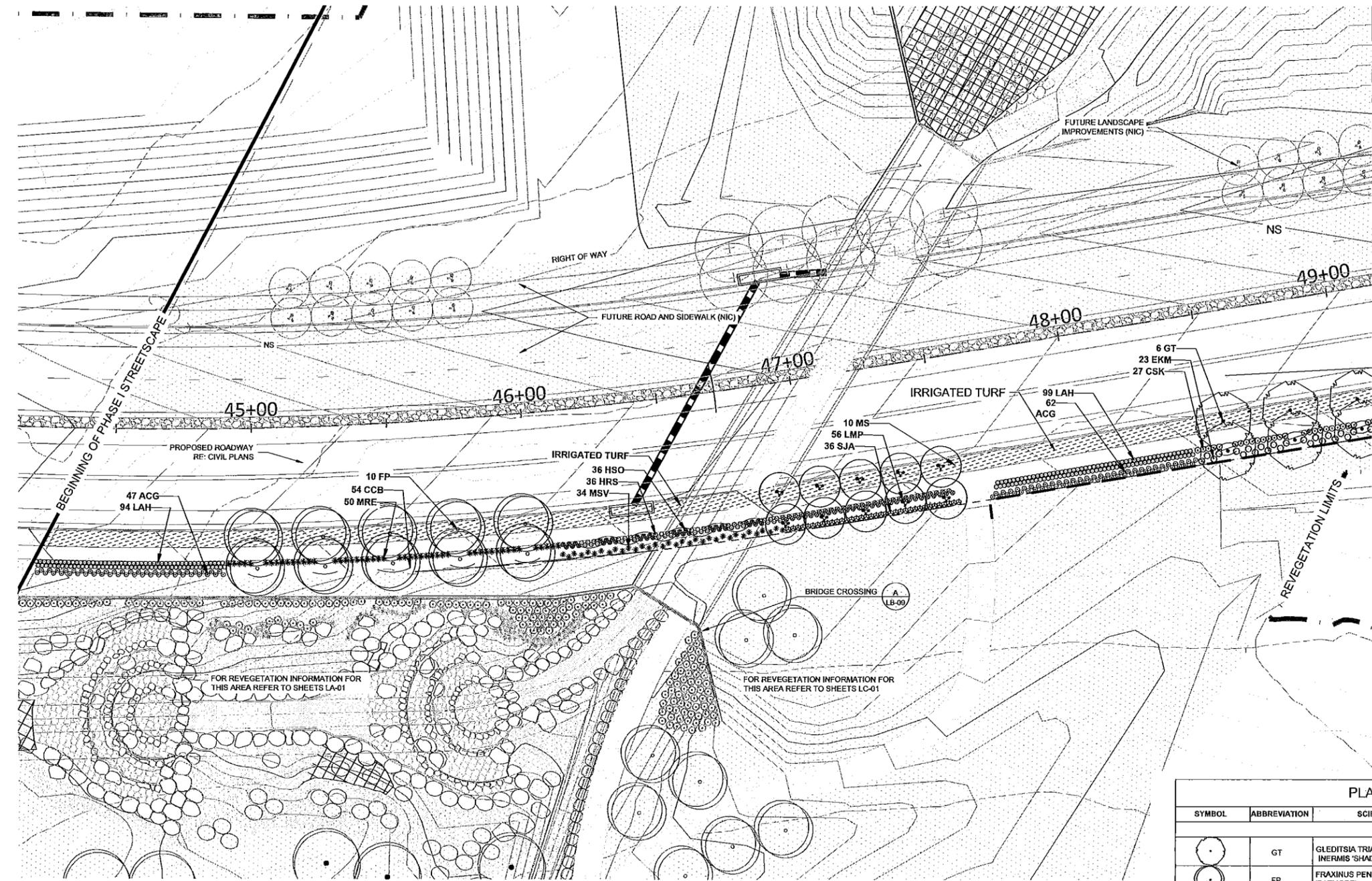
BELFORD AVE. REVEGETATION PLAN
 PARKER, COLORADO
 COMPARK VILLAGE PLANNED DEVELOPMENT
 SHEET
LB
 SHEET INDEX
 COVER SHEET
 7861-000



THIRD SUBMITTAL
MINOR DEVELOPMENT PLAN

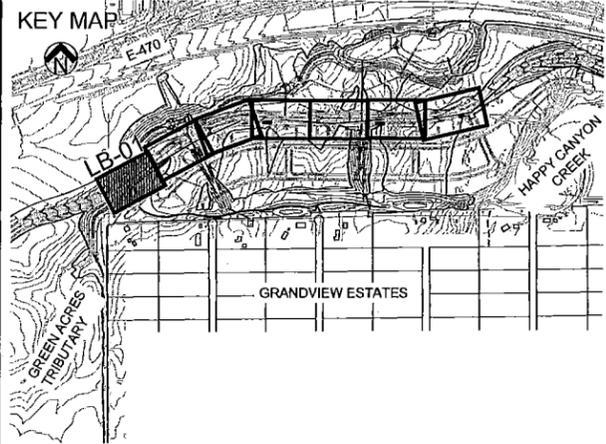
LANDSCAPE NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL GRADING AND REVEGETATION IMPROVEMENTS SHOWN ON THESE DRAWINGS.
2. ALL SEED AREAS SHALL BE AMENDED WITH 2 CUBIC YARDS OF ORGANIC SOIL AMENDMENT PER EVERY 1000 SF.
3. TREES AND SHRUBS TO BE PLANTED WITH EQUAL SPACING AS SHOWN ON PLANS.
4. STEEL LANDSCAPE EDGING TO BE PLACED ALONG BACK EDGE OF ALL PLANTING BEDS ALONG RIGHT-OF-WAY LINE. SEE SPECIFICATIONS FOR TYPE AND APPROXIMATE QUANTITY.
5. ALL LANDSCAPE IMPROVEMENTS SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM.
6. IRRIGATED TURF SHALL BE DURABLE TALL FESCUE SOD AVAILABLE THROUGH GRAFF TURF FARMS, FORT MORGAN, CO 1-800-280-8873 OR APPROVED EQUAL.



FOR REVEGETATION INFORMATION FOR THIS AREA REFER TO SHEETS LA-01

FOR REVEGETATION INFORMATION FOR THIS AREA REFER TO SHEETS LC-01



PLANT SCHEDULE B					
SYMBOL	ABBREVIATION	SCIENTIFIC NAME	COMMON NAME	QUANTITY	NOTES
DECIDUOUS TREES					
(Symbol)	GT	GLEDITSIA TRIACANTHOS VAR. INERMIS 'SHADEMASTER'	SHADMASTER HONEYLOCUST	30	2 1/2' B&B
(Symbol)	FP	FRAXINUS PENNSYLVANICA 'PATMORE'	PATMORE ASH	40	2 1/2' B&B
(Symbol)	MS	MALUS 'SPRING SNOW'	SPRING SNOW CRABAPPLE	36	2' B&B
(Symbol)	GA	GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	30	2' B&B
SHRUBS					
(Symbol)	ACG	ACHILLEA 'CORONATION GOLD'	GOLDEN YELLOW YARROW	744	5 GAL.
(Symbol)	CCB	CARYOPTERIS X CLADONENSIS 'BLUE MIST'	BLUE MIST SPIREA	205	5 GAL.
(Symbol)	CSK	CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	127	5 GAL.
(Symbol)	EKM	EUONYMUS KAUTSCHOWICUS 'MANHATTAN'	MANHATTAN EUONYMUS	135	5 GAL.
(Symbol)	SJA	SPIRAEA JAPONICA ALBIFLORA	SPIREA JAPANESE WHITE	236	5 GAL.
GRASSES AND PERENNIALS					
(Symbol)	CAK	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER GRASS	141	1 GAL.
(Symbol)	HRS	HEMEROCALLIS 'RUBY STELLA'	RUBY STELLA DAYLILY	342	1 GAL.
(Symbol)	HSO	HEMEROCALLIS 'STELLA DE ORO'	STELLA DE ORO DAYLILY	348	1 GAL.
(Symbol)	LMP	LAMIUM MACULATUM 'PURPLE DRAGON'	PURPLE DRAGON NETTLE	377	1 GAL.
(Symbol)	LAH	LAVANDULA ANGUSTIFOLIO 'HIDCOTE'	DEEP BLUE LAVENDER	1,323	1 GAL.
(Symbol)	MRE	MAHONIA REPENS	CREeping MAHONIA	170	1 GAL.
(Symbol)	MSV	MISCANTHUS SINENSIS 'VARIEGATUS'	JAPANESE SILVER GRASS	212	1 GAL.
NATIVE SEED MIX					
(Symbol)	NS	NATIVE SEED MIX	SEE SEED MIX ON LB-COVER	188,117 SF	

DATE

REVISIONS

Manhard Associates Inc. 2853 South Peoria Street, Ste 101 Aurora, Colorado 80014 303-770-7201 FAX 303-770-7132

Manhard CONSULTING LTD

BELFORD AVE. REVEGETATION PLAN

PARKER, COLORADO

COMPARK VILLAGE PLANNED DEVELOPMENT

PROJ. NO.: 07-1511

PROJ. ASSOC.: JB

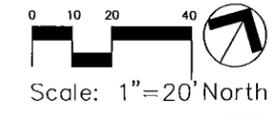
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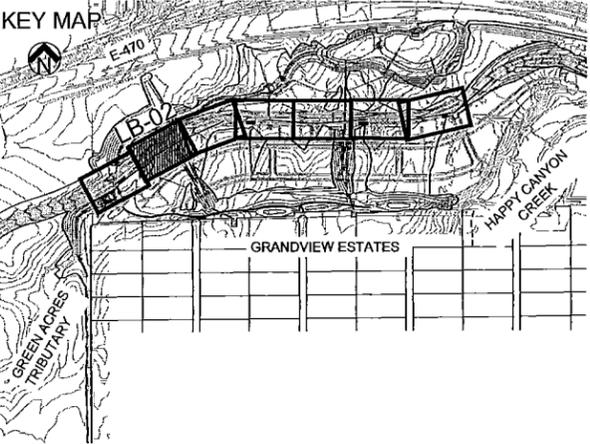
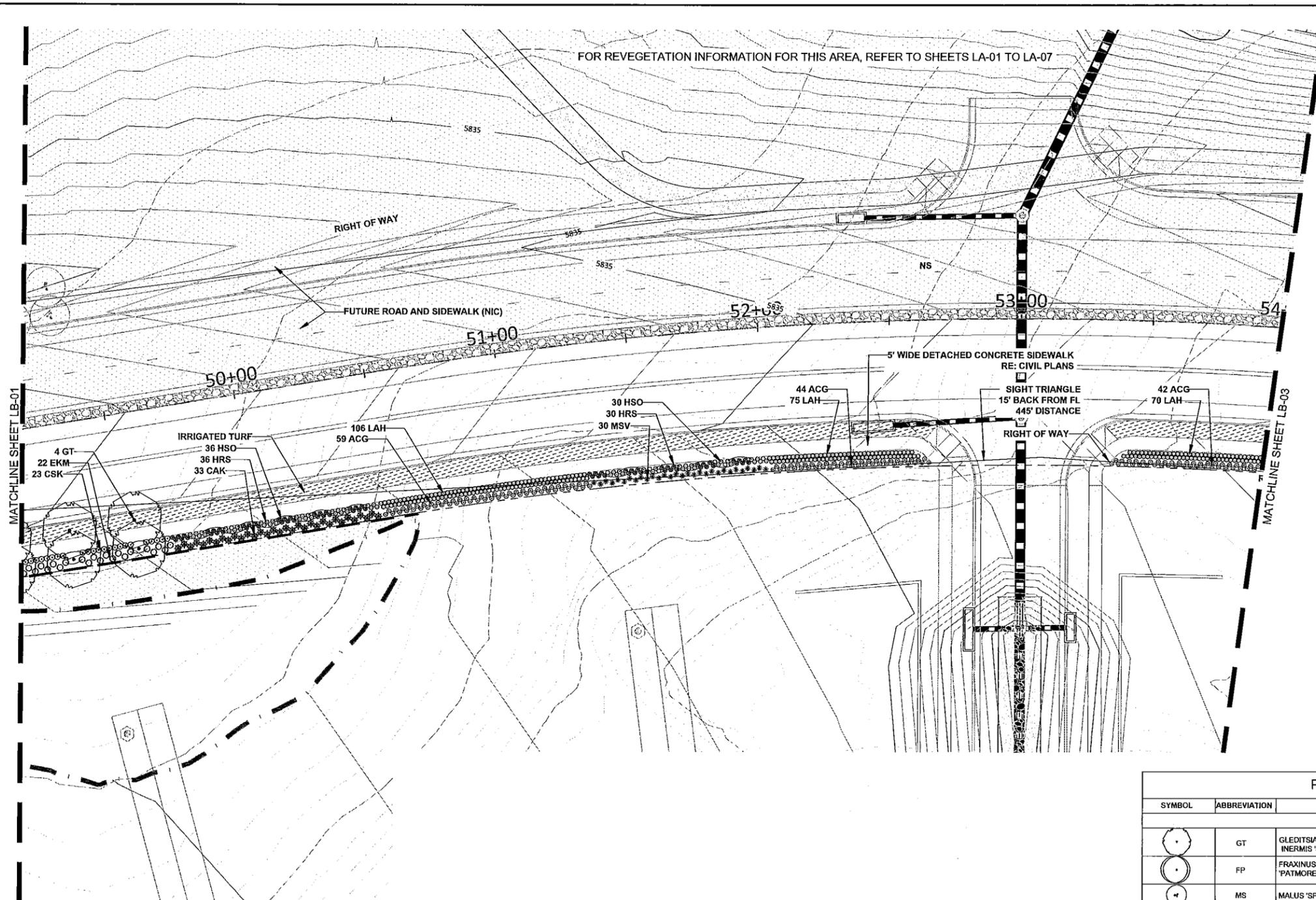
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THIRD SUBMITTAL
MINOR DEVELOPMENT PLAN

- LANDSCAPE NOTES:**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL GRADING AND REVEGETATION IMPROVEMENTS SHOWN ON THESE DRAWINGS.
 2. ALL SEED AREAS SHALL BE AMENDED WITH 2 CUBIC YARDS OF ORGANIC SOIL AMENDMENT PER EVERY 1000 SF.
 3. TREES AND SHRUBS TO BE PLANTED WITH EQUAL SPACING AS SHOWN ON PLANS.
 4. STEEL LANDSCAPE EDGING TO BE PLACED ALONG BACK EDGE OF ALL PLANTING BEDS ALONG RIGHT-OF-WAY LINE. SEE SPECIFICATIONS FOR TYPE AND APPROXIMATE QUANTITY.
 5. ALL LANDSCAPE IMPROVEMENTS SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM.
 6. IRRIGATED TURF SHALL BE DURABLE TALL FESCUE SOD AVAILABLE THROUGH GRAFF TURF FARMS, FORT MORGAN, CO 1-800-280-8873 OR APPROVED EQUAL.



PLANT SCHEDULE B					
SYMBOL	ABBREVIATION	SCIENTIFIC NAME	COMMON NAME	QUANTITY	NOTES
DECIDUOUS TREES					
	GT	GLEDTISIA TRIACANTHOS VAR. INERMIS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	30	2 1/2" B&B
	FP	FRAXINUS PENNSYLVANICA 'PATMORE'	PATMORE ASH	40	2 1/2" B&B
	MS	MALUS 'SPRING SNOW'	SPRING SNOW CRABAPPLE	36	2" B&B
	GA	GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	30	2" B&B
SHRUBS					
	ACG	ACHILLEA 'CORONATION GOLD'	GOLDEN YELLOW YARROW	744	5 GAL.
	CCB	CARYOPTERIS X CLADONENSIS 'BLUE MIST'	BLUE MIST SPIREA	205	5 GAL.
	CSK	CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	127	5 GAL.
	EKM	EUONYMUS KIATSCHOVICUS 'MANHATTAN'	MANHATTAN EUONYMUS	135	5 GAL.
	SJA	SPIRAEA JAPONICA ALBIFLORA	SPIREA JAPANESE WHITE	236	5 GAL.
GRASSES AND PERENNIALS					
	CAK	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER GRASS	141	1 GAL.
	HRS	HEMEROCALLIS 'RUBY STELLA'	RUBY STELLA DAYLILY	342	1 GAL.
	HSO	HEMEROCALLIS 'STELLA DE ORO'	STELLA DE ORO DAYLILY	348	1 GAL.
	LMP	LAMIUM MACULATUM 'PURPLE DRAGON'	PURPLE DRAGON NETTLE	377	1 GAL.
	LAH	LAVANDULA ANGUSTIFOLIO 'HIDCOTE'	DEEP BLUE LAVENDER	1,323	1 GAL.
	MRE	MAHONIA REPENS	CREEPING MAHONIA	170	1 GAL.
	MSV	MISCANTHUS SINENSIS 'VARIEGATUS'	JAPANESE SILVER GRASS	212	1 GAL.
NATIVE SEED MIX					
	NS	NATIVE SEED MIX	SEE SEED MIX ON LB-COVER	188,117 SF	

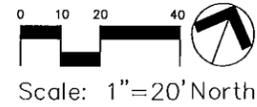
BELFORD AVE. REVEGETATION PLAN
 PARKER, COLORADO
 COMPARK VILLAGE PLANNED DEVELOPMENT

Manhard Associates Inc.
 2853 South Peoria Street, Ste 101
 Aurora, Colorado 80014
 303-770-7201 FAX 770-7132
 www.manhard.com

PROJ. NO.: 1511
 PROJ. ASSOC.: LB
 DRAWN BY: JBT
 DATE: 07/07/15

SHEET
LB - 02
 SHEET 2 OF 10
 7681-000

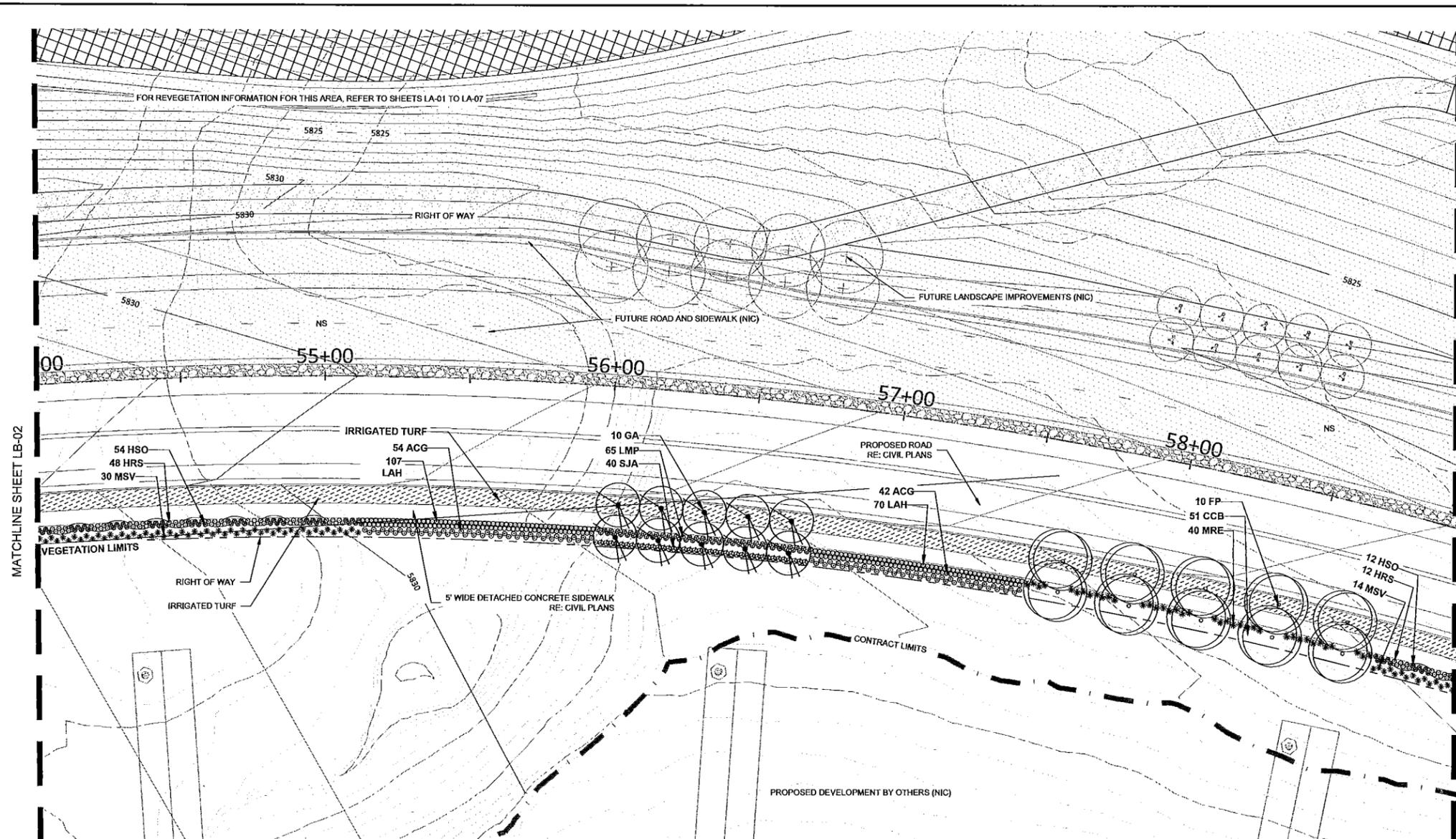
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THIRD SUBMITTAL
MINOR DEVELOPMENT PLAN

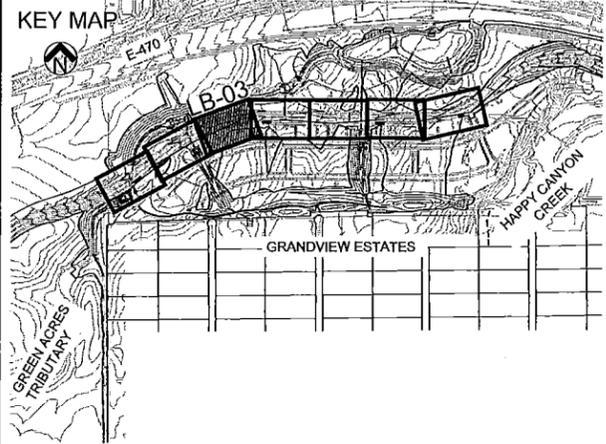
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PLANT SCHEDULE B

SYMBOL	ABBREVIATION	SCIENTIFIC NAME	COMMON NAME	QUANTITY	NOTES
DECIDUOUS TREES					
	GT	GLEDITSIA TRIACANTHOS VAR. INERMIS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	30	2 1/2" B&B
	FP	FRAXINUS PENNSYLVANICA 'PATMORE'	PATMORE ASH	40	2 1/2" B&B
	MS	MALUS 'SPRING SNOW'	SPRING SNOW CRABAPPLE	36	2" B&B
	GA	GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	30	2" B&B
SHRUBS					
	ACG	ACHILLEA 'CORONATION GOLD'	GOLDEN YELLOW YARROW	744	5 GAL.
	CCB	CARYOPTERIS X CLADONENSIS 'BLUE MIST'	BLUE MIST SPIREA	205	5 GAL.
	CSK	CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	127	5 GAL.
	EKM	EUONYMUS KIATSCHOVICUS 'MANHATTAN'	MANHATTAN EUONYMUS	135	5 GAL.
	SJA	SPIRAEA JAPONICA ALBIFLORA	SPIREA JAPANESE WHITE	236	5 GAL.
GRASSES AND PERENNIALS					
	CAK	CALAMACROSTIS ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER GRASS	141	1 GAL.
	HRS	HEMEROCALLIS 'RUBY STELLA'	RUBY STELLA DAYLILY	342	1 GAL.
	HSO	HEMEROCALLIS 'STELLA DE ORO'	STELLA DE ORO DAYLILY	348	1 GAL.
	LMP	LAMIUM MACULATUM 'PURPLE DRAGON'	PURPLE DRAGON NETTLE	377	1 GAL.
	LAH	LAVANDULA ANGUSTIFOLIO 'HIDCOTE'	DEEP BLUE LAVENDER	1,323	1 GAL.
	MRE	MAHONIA REPENS	CREEPING MAHONIA	170	1 GAL.
	MSV	MISCANTHUS SINENSIS 'VARIEGATUS'	JAPANESE SILVER GRASS	212	1 GAL.
NATIVE SEED MIX					
	NS	NATIVE SEED MIX	SEE SEED MIX ON LB-COVER	188,117 SF	



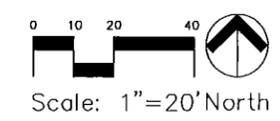
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DATE		REVISION		DRAWN BY		CHECKED BY	

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 CONSULTING LTD.
 2853 South Peoria Street, Ste 101
 Aurora, Colorado 80014
 303-770-7201 FAX 770-7132
 Hiring Locally, Recruiting Nationally

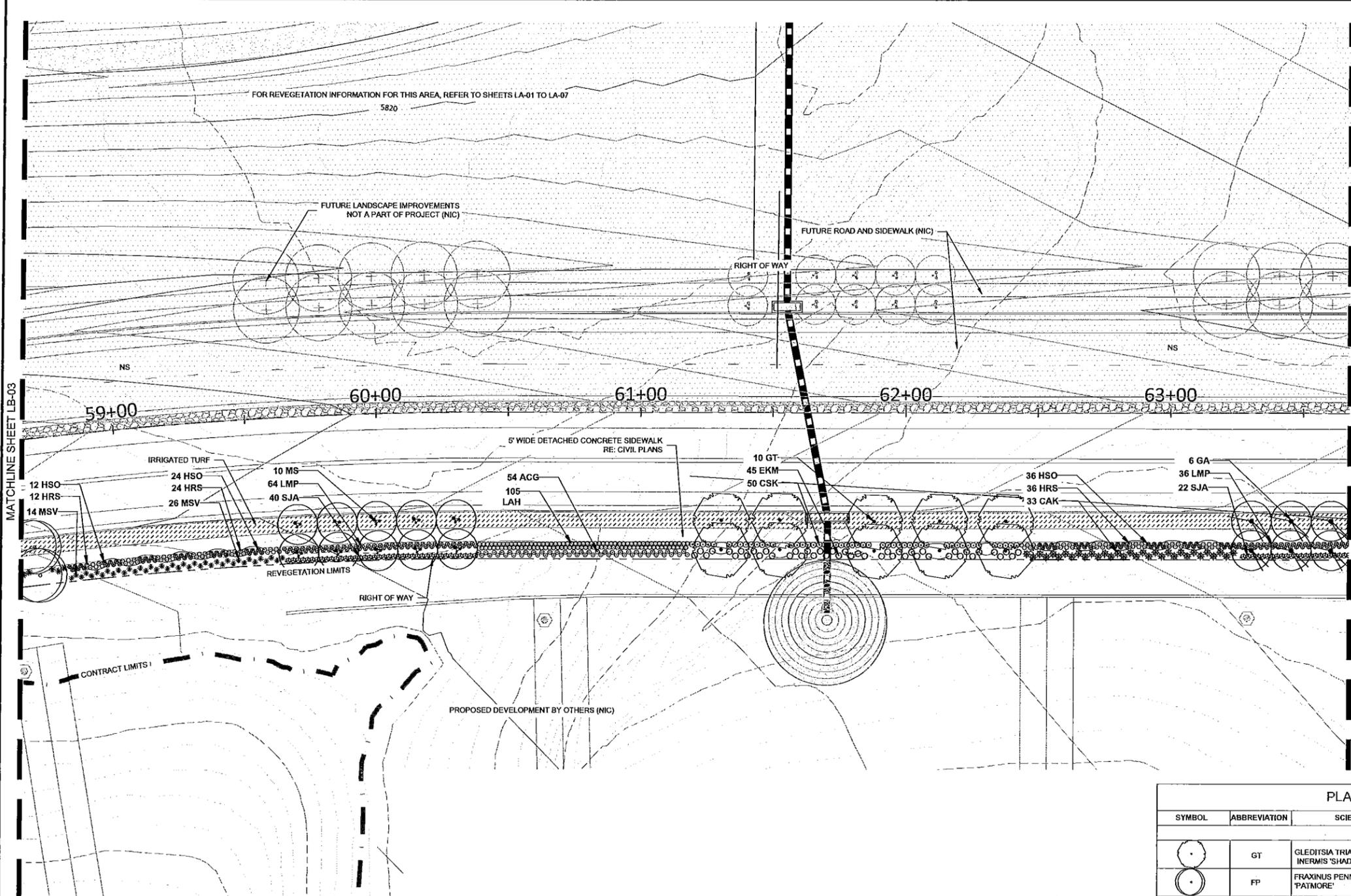
BELFORD AVE. REVEGETATION PLAN
PARKER, COLORADO
COMPARK VILLAGE PLANNED DEVELOPMENT

SHEET
LB - 03
 SHEET 3 OF 10
 7681-000



THIRD SUBMITTAL
MINOR DEVELOPMENT PLAN

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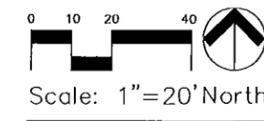
PLANT SCHEDULE B					
SYMBOL	ABBREVIATION	SCIENTIFIC NAME	COMMON NAME	QUANTITY	NOTES
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SHRUBS					
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	CCB	CARYOPTERIS X CLADONENSIS 'BLUE MIST'	BLUE MIST SPIREA	205	5 GAL.
	CSK	CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	127	5 GAL.
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NATIVE SEED MIX					
	NS	NATIVE SEED MIX	SEE SEED MIX ON LB-COVER	188,117 SF	

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REVISION	

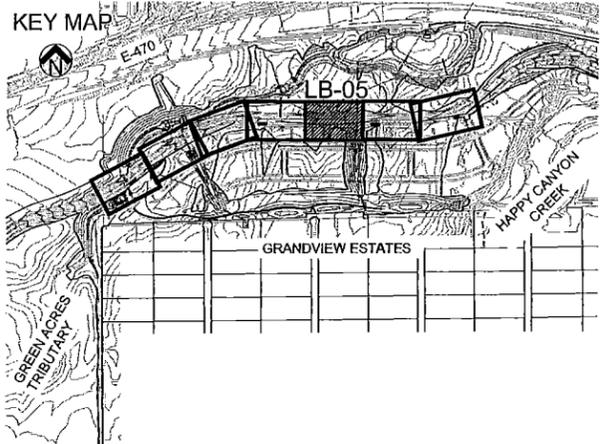
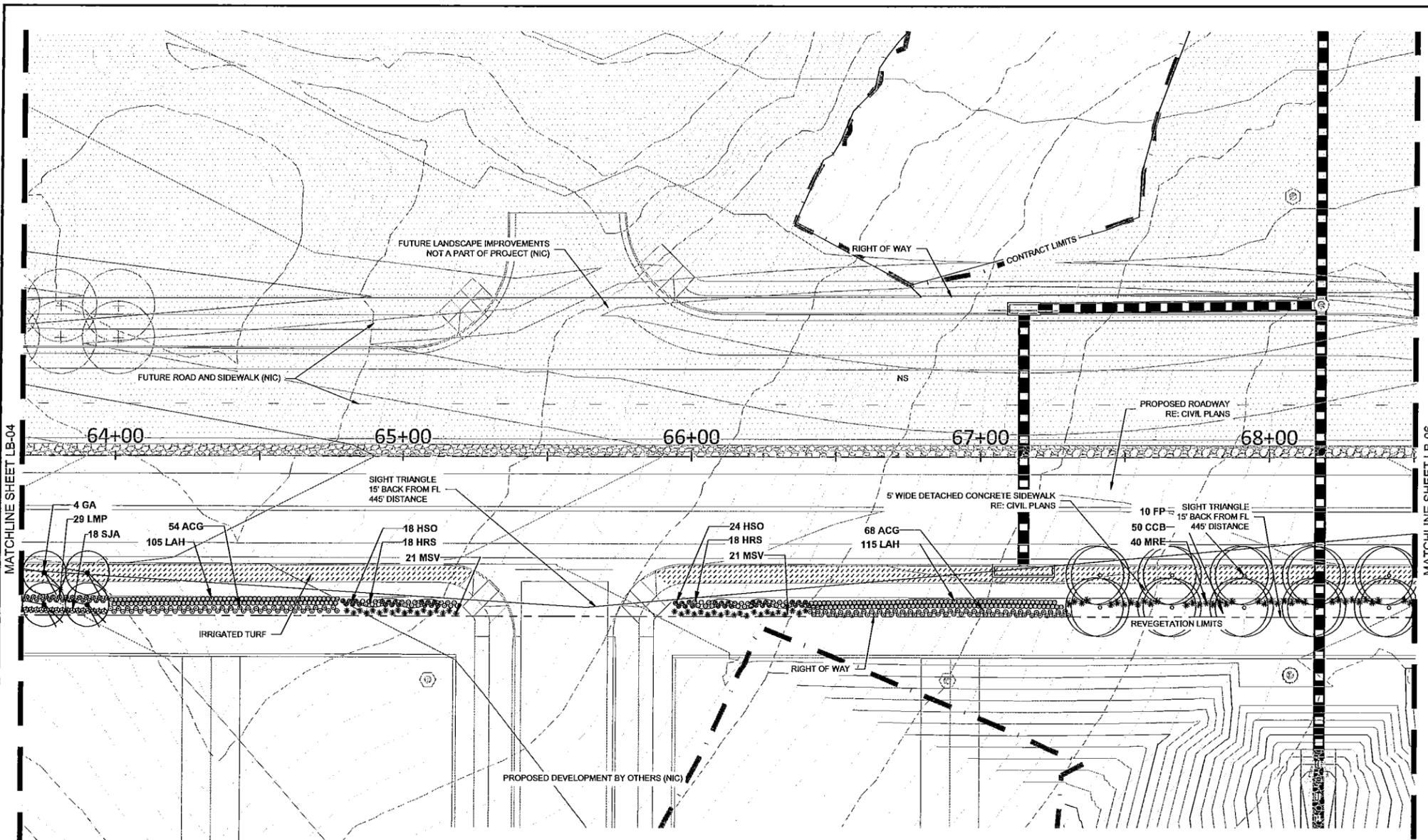
Manhard **associates inc.**
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 Aurora, Colorado 80014
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 Email: info@manhard.com

BELFORD AVE. REVEGETATION PLAN
 PARKER, COLORADO
 COMPARK VILLAGE PLANNED DEVELOPMENT
 SHEET
LB - 04
 SHEET 4 OF 10
 7681-000



THIRD SUBMITTAL
MINOR DEVELOPMENT PLAN

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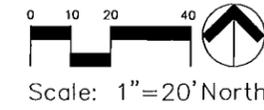
PLANT SCHEDULE B						
SYMBOL	ABBREVIATION	SCIENTIFIC NAME	COMMON NAME	QUANTITY	NOTES	
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NATIVE SEED MIX						
	NS	NATIVE SEED MIX	SEE SEED MIX ON LB-COVER	188,117 SF		

DRAWN BY: []
 CHECKED BY: []
 DATE: []
 MANHARD CONSULTING LTD.
 2855 South Peoria Street, Ste 101
 Aurora, Colorado 80014
 Phone: 303.742.1100
 Fax: 303.742.1101
 www.manhardconsulting.com

BELFORD AVE. REVEGETATION PLAN
 PARKER, COLORADO
 COMPARK VILLAGE PLANNED DEVELOPMENT

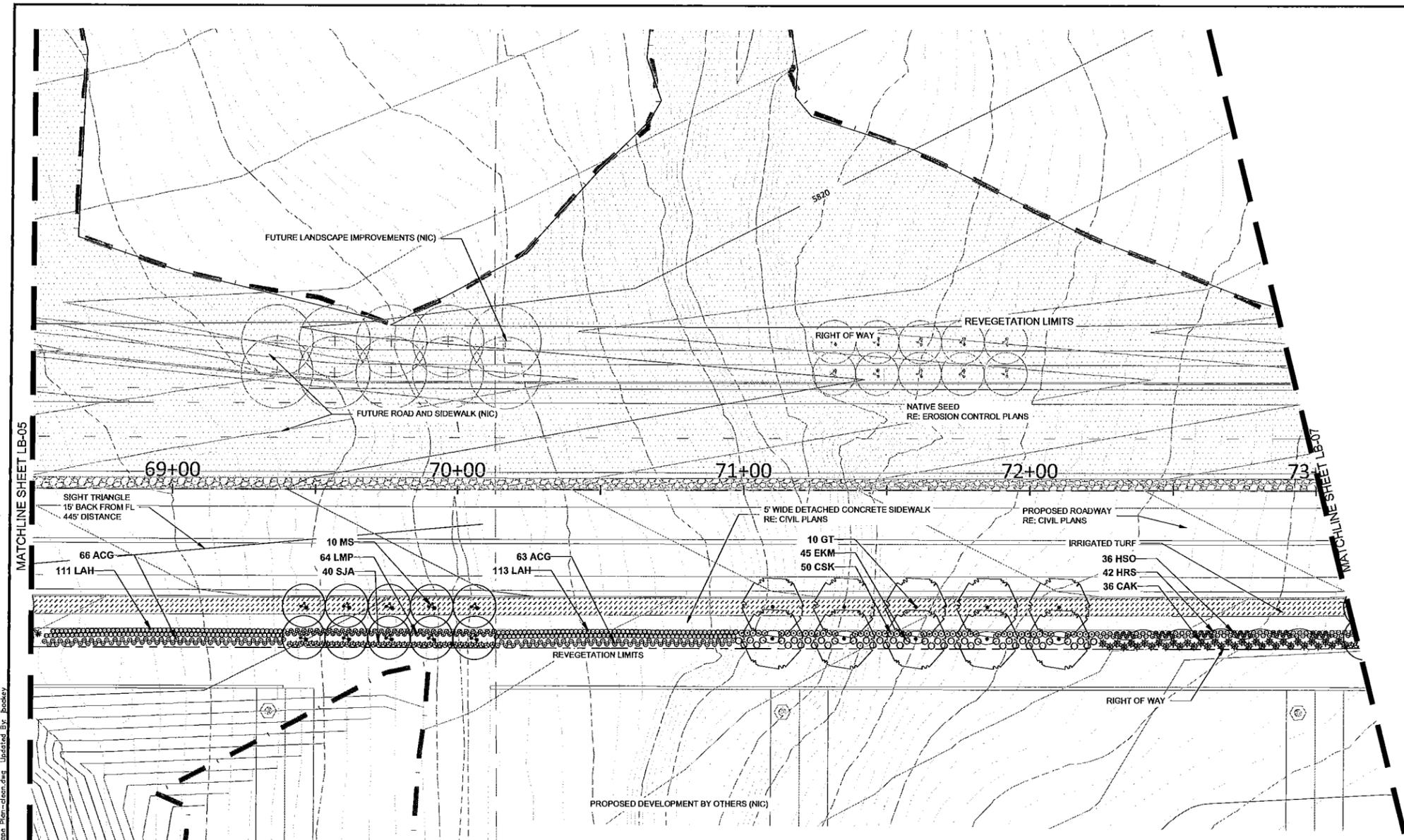
SHEET
LB - 05
 SHEET 5 OF 10
 7681-000

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THIRD SUBMITTAL
MINOR DEVELOPMENT PLAN

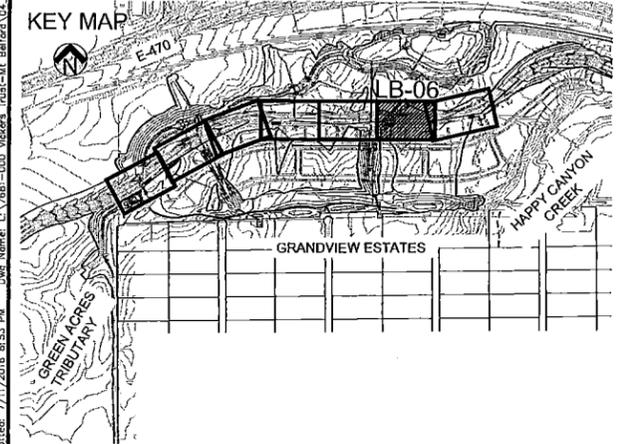
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MATCHLINE SHEET LB-05

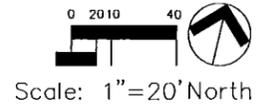
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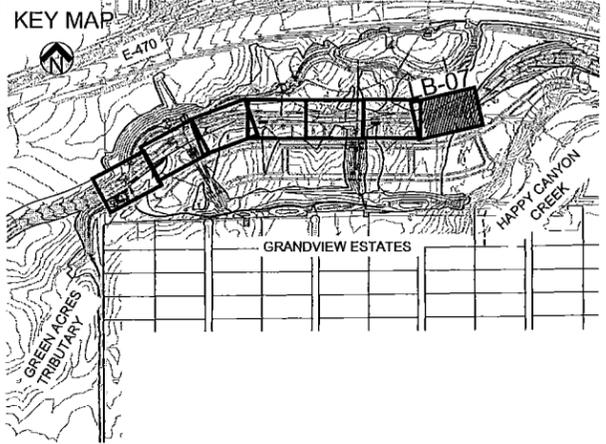
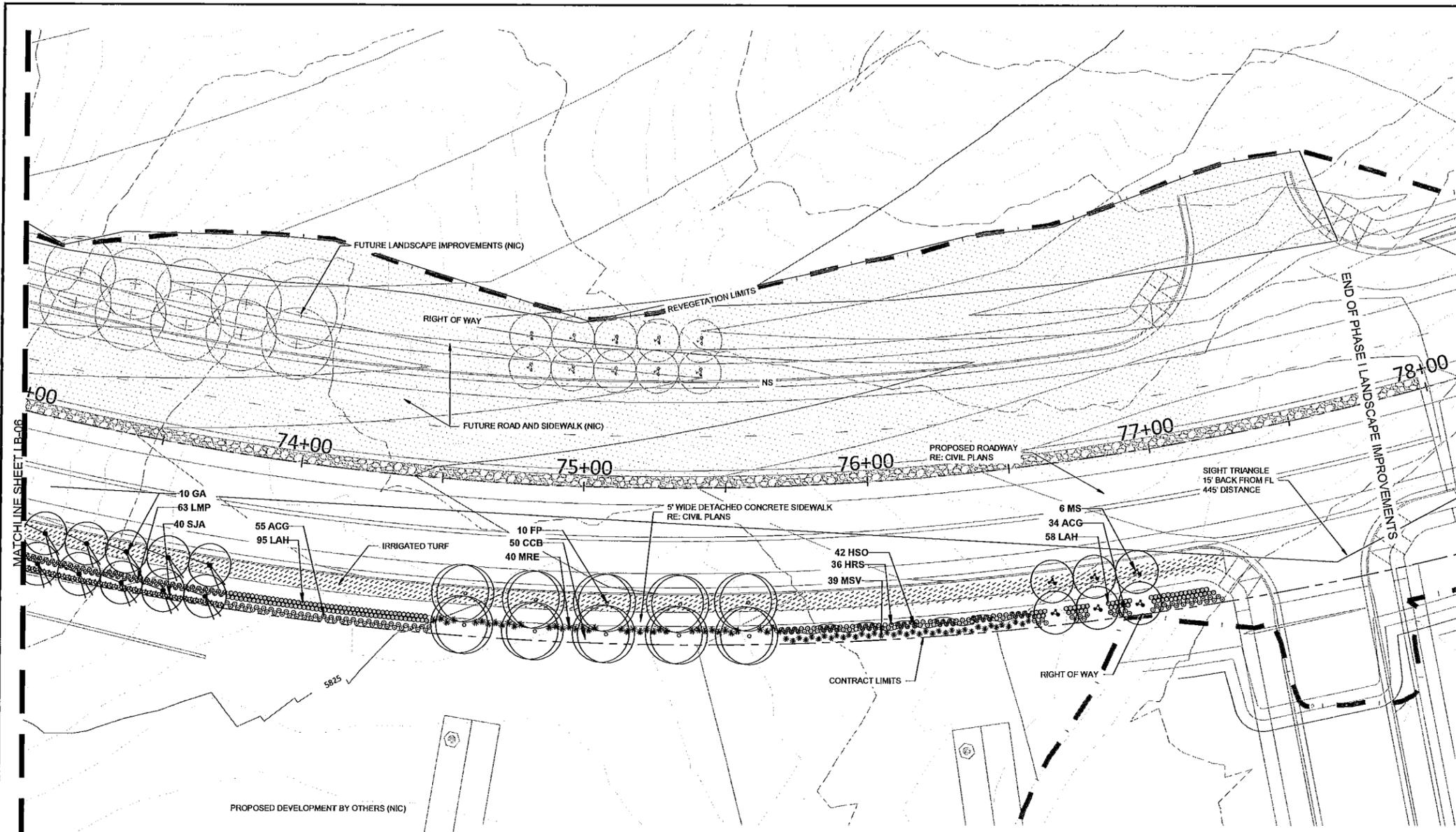
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	NS	NATIVE SEED MIX	SEE SEED MIX ON LB-COVER	188,117 SF	

DRAWN BY		DATE		REVISION	
BELFORD AVE. REVEGETATION PLAN PARKER, COLORADO COMPARK VILLAGE PLANNED DEVELOPMENT					
LB - 06 SHEET 6 OF 10 7681-000					



THIRD SUBMITTAL
MINOR DEVELOPMENT PLAN

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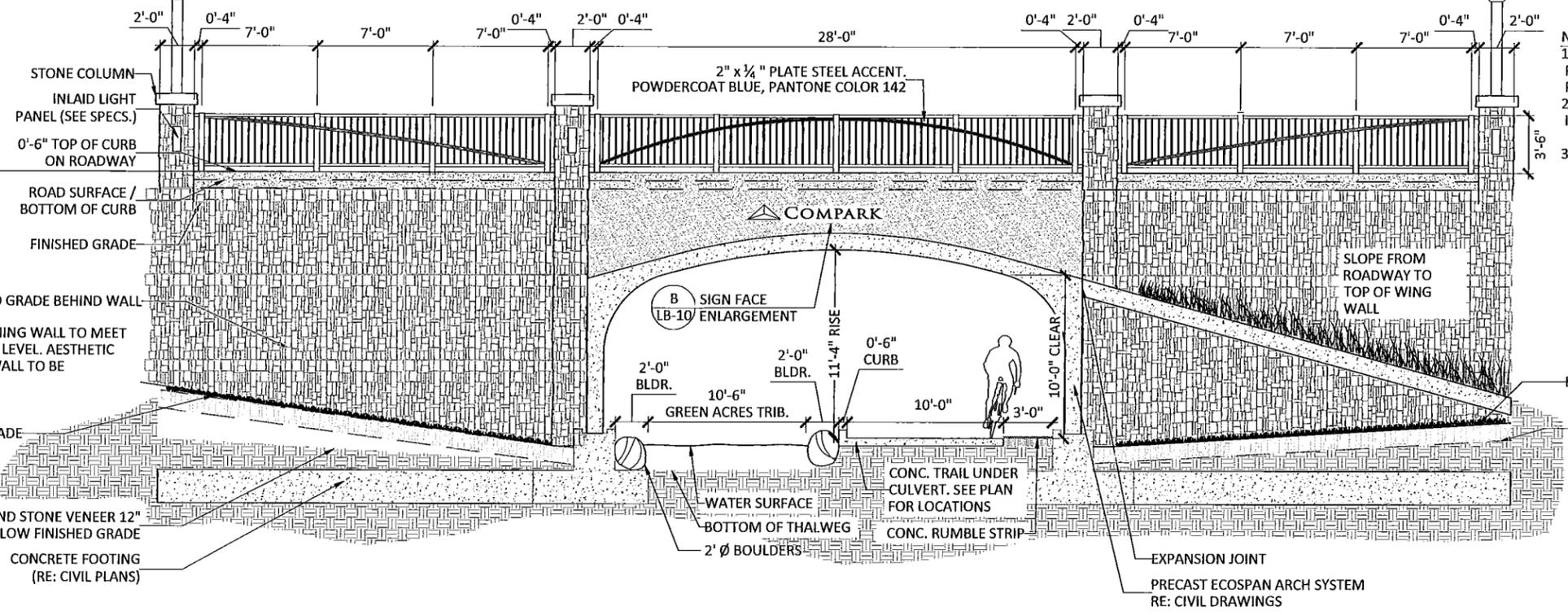


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	SJA	SPIRAEA JAPONICA ALBIFLORA	SPIREA JAPANESE WHITE	236	5 GAL.
GRASSES AND PERENNIALS					
	CAK	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER GRASS	141	1 GAL.
	HRS	HEMEROCALLIS 'RUBY STELLA'	RUBY STELLA DAYLILY	342	1 GAL.
	HSO	HEMEROCALLIS 'STELLA DE ORO'	STELLA DE ORO DAYLILY	348	1 GAL.
	LMP	LAMIUM MACULATUM 'PURPLE DRAGON'	PURPLE DRAGON NETTLE	377	1 GAL.
	LAH	LAVANDULA ANGUSTIFOLIO 'HIDCOTE'	DEEP BLUE LAVENDER	1,323	1 GAL.
	MRE	MAHONIA REPENS	CREEPING MAHONIA	170	1 GAL.
	MSV	MISCANTHUS SINENSIS 'VARIEGATUS'	JAPANESE SILVER GRASS	212	1 GAL.
NATIVE SEED MIX					
	NS	NATIVE SEED MIX	SEE SEED MIX ON LB-COVER	188,117 SF	

Plotted: 7/11/2018 8:53 PM Dwg Name: L:\7681-000\Belford\CA_CAD\A.L. Sheets\60707_7681_Landscape_Plan-03.dwg User: B. Beckley

DRAWN BY		REVISIONS		DATE	
 Manhard CONSULTING LTD	associates inc. <small>2853 South Peoria Street, Ste 101 Aurora, Colorado 80014 Phone: 773-757-1022 Email: info@manhard.com</small>	BELFORD AVE. REVEGETATION PLAN PARKER, COLORADO COMPARK VILLAGE PLANNED DEVELOPMENT			
SHEET LB - 07 SHEET 7 OF 9 7681-000					

STANDARD CITY OF PARKER STREET LAMP (TYP.)



- NOTES:
1. ALL RAIL COMPONENTS SHALL BE BLACK POWDER COAT. FIELD WELDS SHALL BE PAINTED TO MATCH POWDER COAT FINISH
 2. COMPARK SIGN FACE SHALL BE ILLUMINATED. SEE COMPARK LOGO
 3. FLAGSTONE SIZES SHALL BE:
 25% TOTAL STONE = 3" WIDTH
 25% TOTAL STONE = 6" WIDTH
 25% TOTAL STONE = 9" WIDTH
 25% TOTAL STONE = 12" WIDTH

CONCRETE RETAINING WALL TO MEET GRADE AT STREET LEVEL. AESTHETIC TREATMENT OF WALL TO BE DETERMINED.

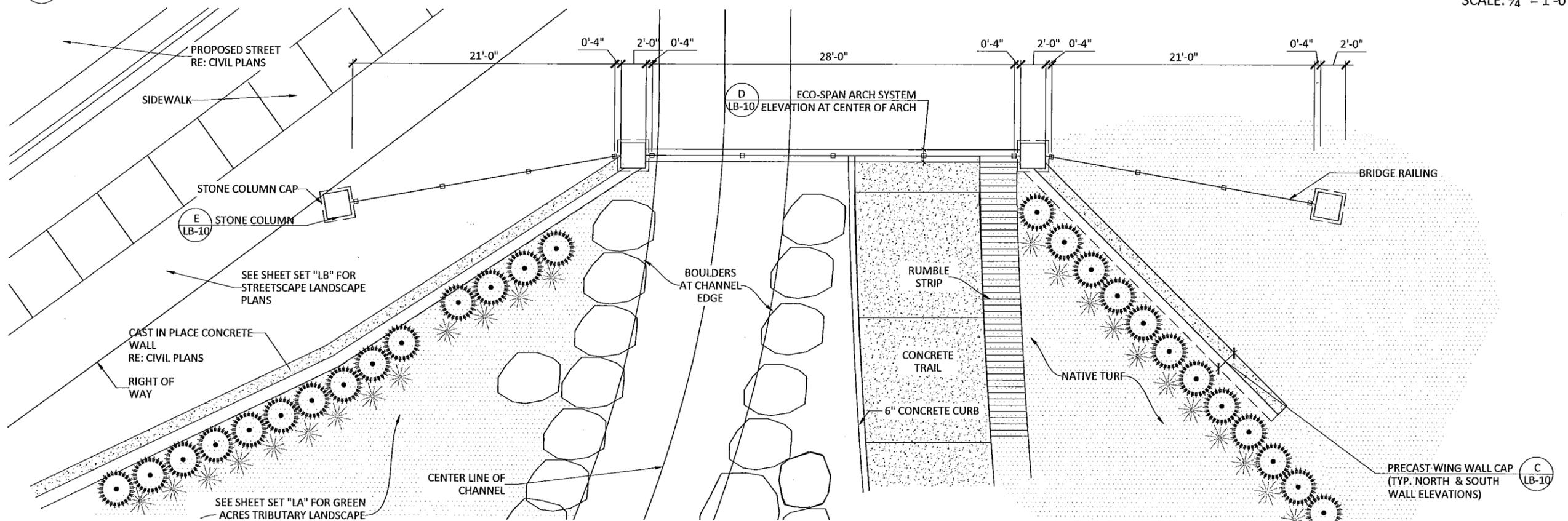
EXTEND STONE VENEER 12" BELOW FINISHED GRADE
 CONCRETE FOOTING (RE: CIVIL PLANS)

FINISHED GRADE
 EXTEND STONE VENEER 12" BELOW FINISHED GRADE

EXPANSION JOINT
 PRECAST ECOSPAN ARCH SYSTEM
 RE: CIVIL DRAWINGS

A ECO-SPAN PRECAST CONCRETE ARCH SYSTEM - AESTHETIC TREATMENT ELEVATION

SCALE: 1/4" = 1'-0"



SEE SHEET SET "LB" FOR STREETSCAPE LANDSCAPE PLANS

CAST IN PLACE CONCRETE WALL
 RE: CIVIL PLANS
 RIGHT OF WAY

SEE SHEET SET "LA" FOR GREEN ACRES TRIBUTARY LANDSCAPE

BOULDERS AT CHANNEL EDGE

RUMBLE STRIP

CONCRETE TRAIL

6" CONCRETE CURB

NATIVE TURF

PRECAST WING WALL CAP (TYP. NORTH & SOUTH WALL ELEVATIONS)

B ECO-SPAN PRECAST CONCRETE ARCH SYSTEM - PLAN VIEW
 SCALE: 1/4" = 1'-0"

THIRD SUBMITTAL
 MINOR DEVELOPMENT PLAN

DATE	
REVISIONS	

Manhard CONSULTING LTD.
 associates inc.
 2855 South Peoria Street, Ste 101
 Aurora, Colorado 80014
 303.775.2611 FAX 775.7132

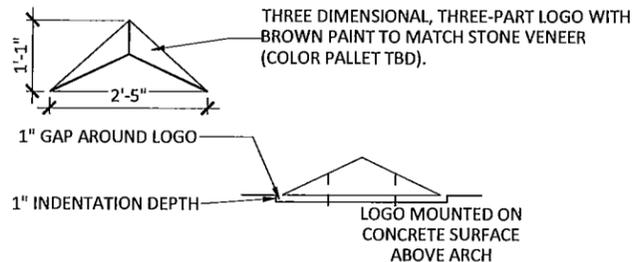
BELFORD AVE. LANDSCAPE PLAN
 PARKER, COLORADO
 COMPARK VILLAGE PLANNED DEVELOPMENT

PROJ. NO.: 7681-000
 PROJ. ASSOC.: JH
 DRAWN BY: JH
 DATE: 07/07/16

SHEET
LB - 09
 SHEET 9 OF 10
 7681-000

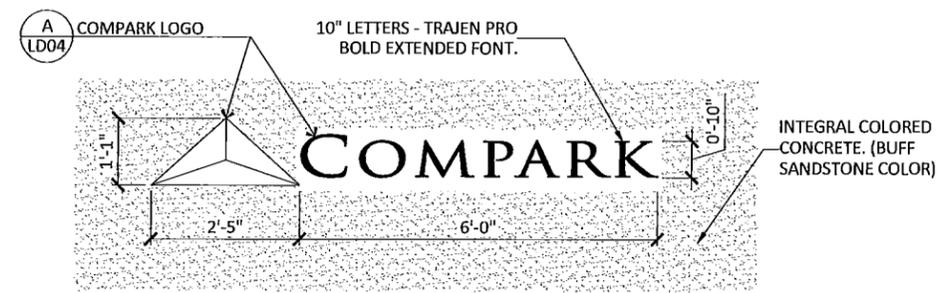
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C "COMPARK REVERSE PAN CHANNEL LETTERS WITH 4" RETURN. LETTER AND RETURN PAINTED BLACK SHOULD BE CONTROLLED WITH ELECTRIC EYE LETTERS TO BE MOUNTED 1-1/4" OFF WALL

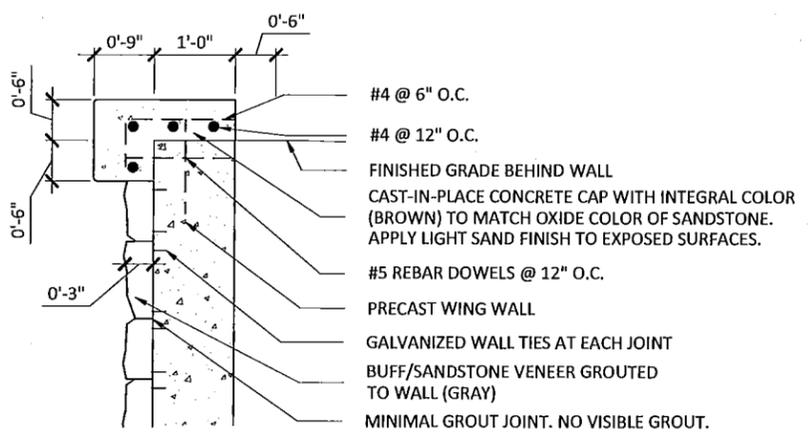


LOGO CENTER POINT IS RAISED WITH ALL THREE SEPARATE COMPONENTS (1/4" WHITE PLEXIGLASS FILLED GAP BETWEEN EACH) MOUNTED 1" OFF WALL. INDENTATION IN WALL THAT IS 1/2" LARGER THAN LOGO ON ALL SIDES. LOGO IS ILLUMINATED FROM BEHIND WITH NEON FIBER OPTIC TO ALLOW THE SAME HALO EFFECT AS WILL OCCUR AROUND THE LETTERS. MOUNTING MUST NOT BE VISIBLE.

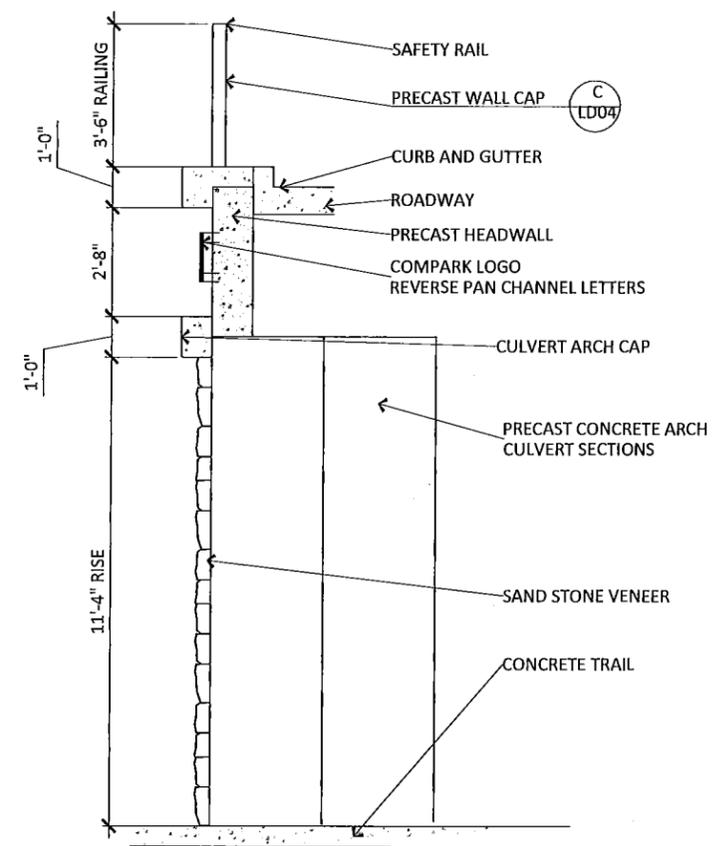
A COMPARK LOGO N.T.S.



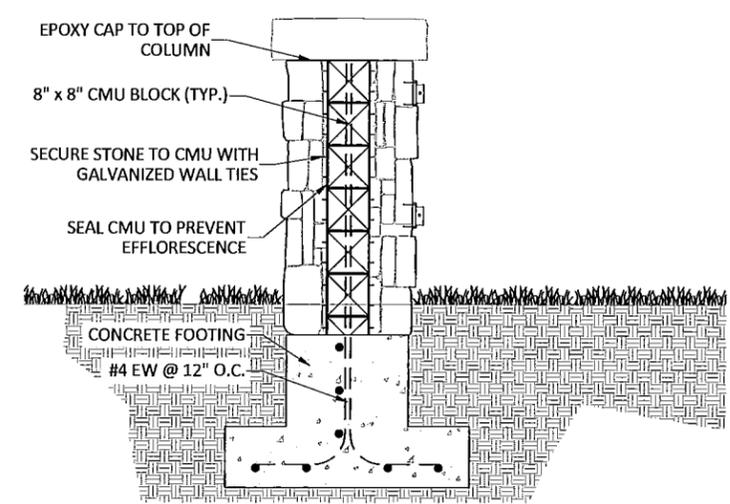
B SIGN FACE ENLARGEMENT SCALE: 3/4" = 1'-0"



C PRE CAST WING WALL CAP AND WALL CAP SCALE: 1" = 1'-0"



D ECO-SPAN ARCH SYSTEM ELEVATION AT CENTER OF CULVERT SCALE: 1/4" = 1'-0"



E STONE COLUMN STRUCTURAL DETAIL SCALE: 3/4" = 1'-0"

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REVISIONS	

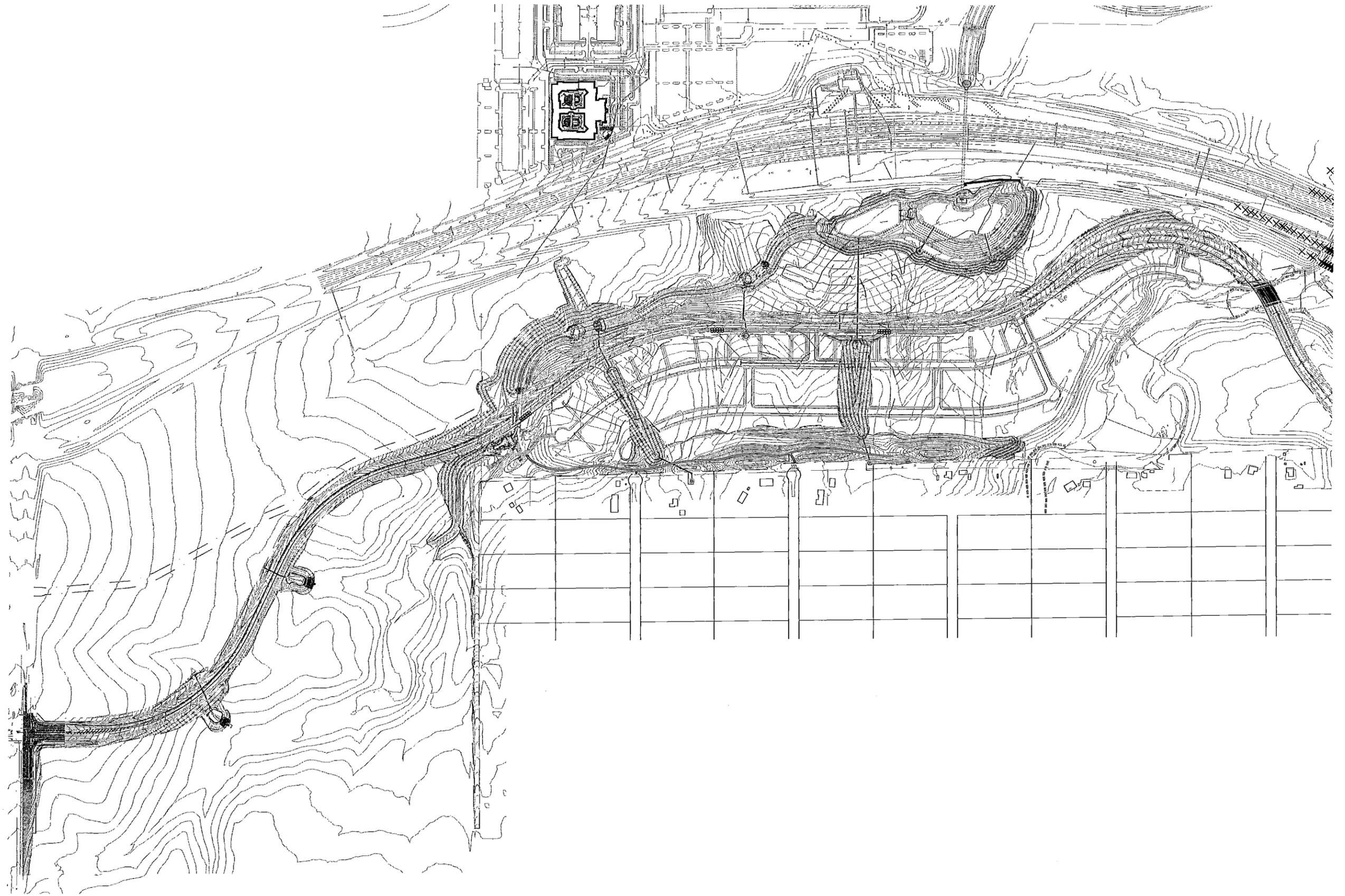
Manhard **associates inc.**
 CONSULTING LTD.
 2933 South Platte Street, Ste 101
 Aurora, Colorado 80014
 303-770-7301 FAX 770-7132

BELFORD AVE. LANDSCAPE PLAN
 PARKER, COLORADO
 COMPARK VILLAGE PLANNED DEVELOPMENT

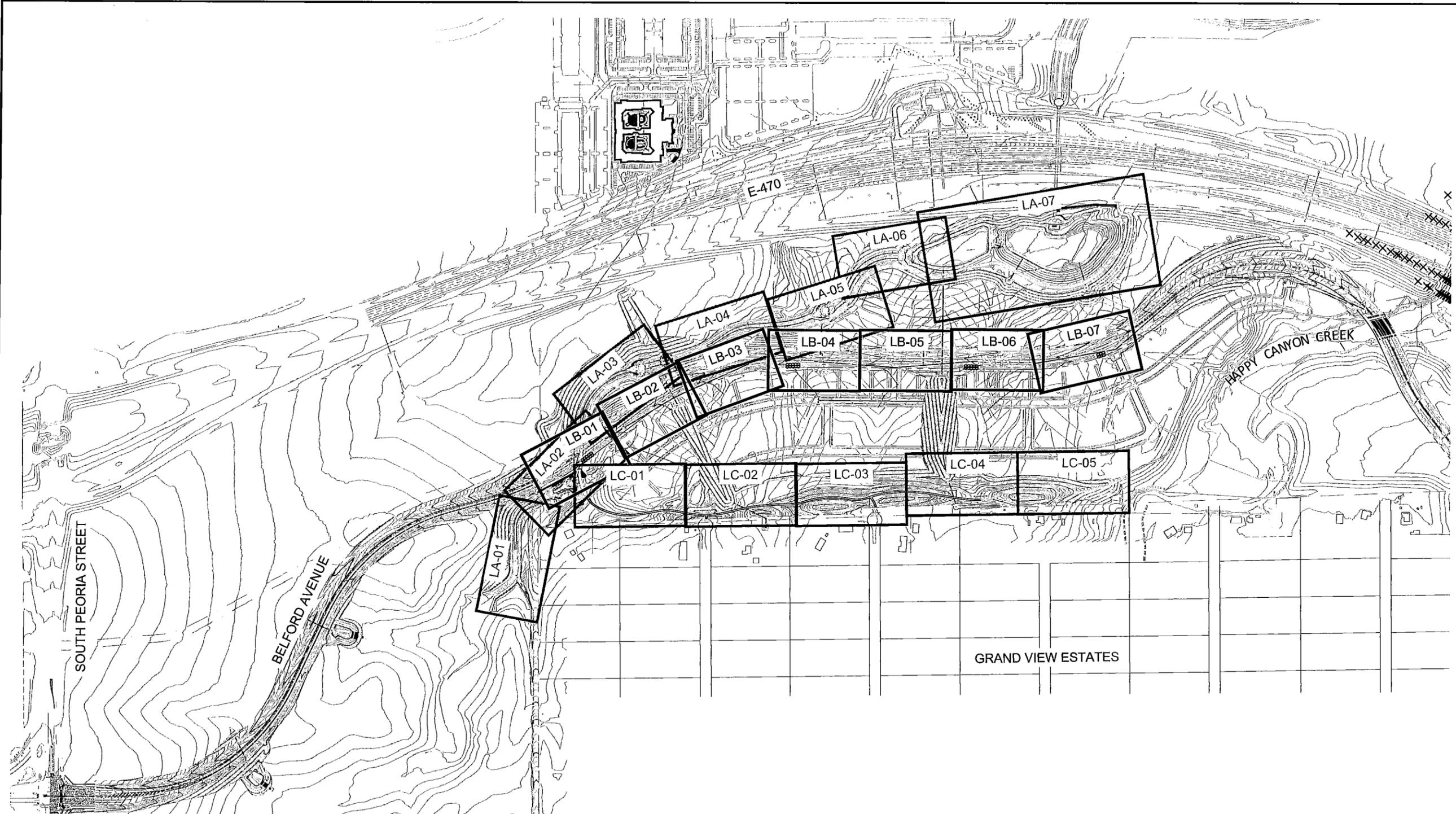
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 PROJ. ASSOC.: JB
 DRAWN BY: JB
 DATE: 07/07/16

SHEET
LB - 10
 SHEET 10 OF 10
 7881-000

THIRD SUBMITTAL
 MINOR DEVELOPMENT PLAN



Plotted: 7/11/2016 6:51 PM Dwg Name: L:\7681-000_Vickers Trail-Mt. Belford\04_CAD\1_Sheets\160707_7681_Landscape_Plan-geom.dwg Updated By: Bockley



UPLAND NATIVE SEED MIX					
SYM.	COMMON NAME, VARIETY	SCIENTIFIC NAME	100% PLS/AC	% OF TOTAL	PLS/AC
.....	WESTERN WHEATGRASS, ARRIBA	PASCOPYRUM SMITHII	13.47	44.03	5.93
.....	BLUE GRAMA, LOVINGSTON	BOUTELOUA GRACILIS	1.92	6.29	0.12
.....	SIDEOATS GRAMA, HACHITA	BOUTELOUA CURTIPENDULA	2.89	9.43	0.27
.....	SWITCHGRASS, TRAILBLAZER	PANICUM VIRGATUM	0.96	3.14	0.03
.....	YELLOW INDIANGRASS, HOLT	SORGHASTRUM NUTANS	2.31	7.55	0.17
.....	JUNEGRASS	KOELERIA MACRANTHERA ELYMUS TRACHYCALUS	0.19	0.63	0.00
.....	SLENDER WEATGRASS	SUBSP, TRACHYCALUS	3.85	12.58	0.48
.....	BIG BLUESTEM, KAW	ANDROPOGON GERARDII	2.70	8.81	0.24
.....	PUBESCENT WHEATGRASS	AGROPYRON TRICHOPHORUM	2.31	7.54	0.17
.....	TOTAL		30.60	100.00	7.43

REVEGETATION SERIES PAGE INDEX

- | | | |
|-----------|---|---------------|
| LA SERIES | DRAINAGE REVEGETATION & DROP STRUCTURES | LA 01 - LA 08 |
| LB SERIES | BELFORD AVE STREETSCAPE | LB 01 - LB 10 |
| LC SERIES | OPEN SPACE LANDSCAPE AND TRAIL | LC 01 - LC 06 |

LA SERIES SHEET SET NOT INCLUDED IN THIS SUBMITTAL

THIRD SUBMITTAL
MINOR DEVELOPMENT PLAN

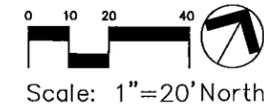


DATE	
REVISION	

Manhard CONSULTING, L.P.
 associates inc.
 2853 South Peoria Street, Ste 101
 Aurora, Colorado 80014
 Phone: 303.674.7130
 Fax: 303.674.7130

BELFORD AVE. REVEGETATION PLAN
 PARKER, COLORADO
 COMPARK VILLAGE PLANNED DEVELOPMENT

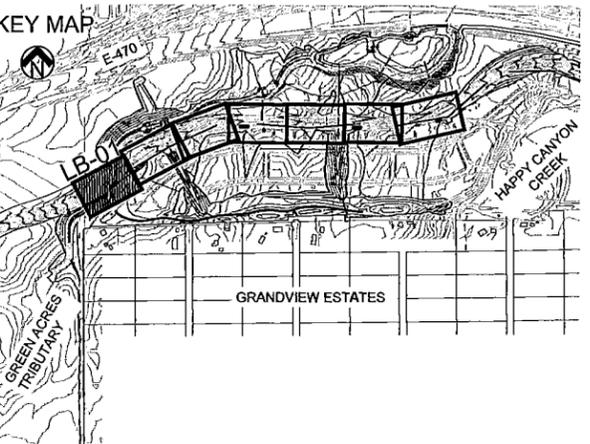
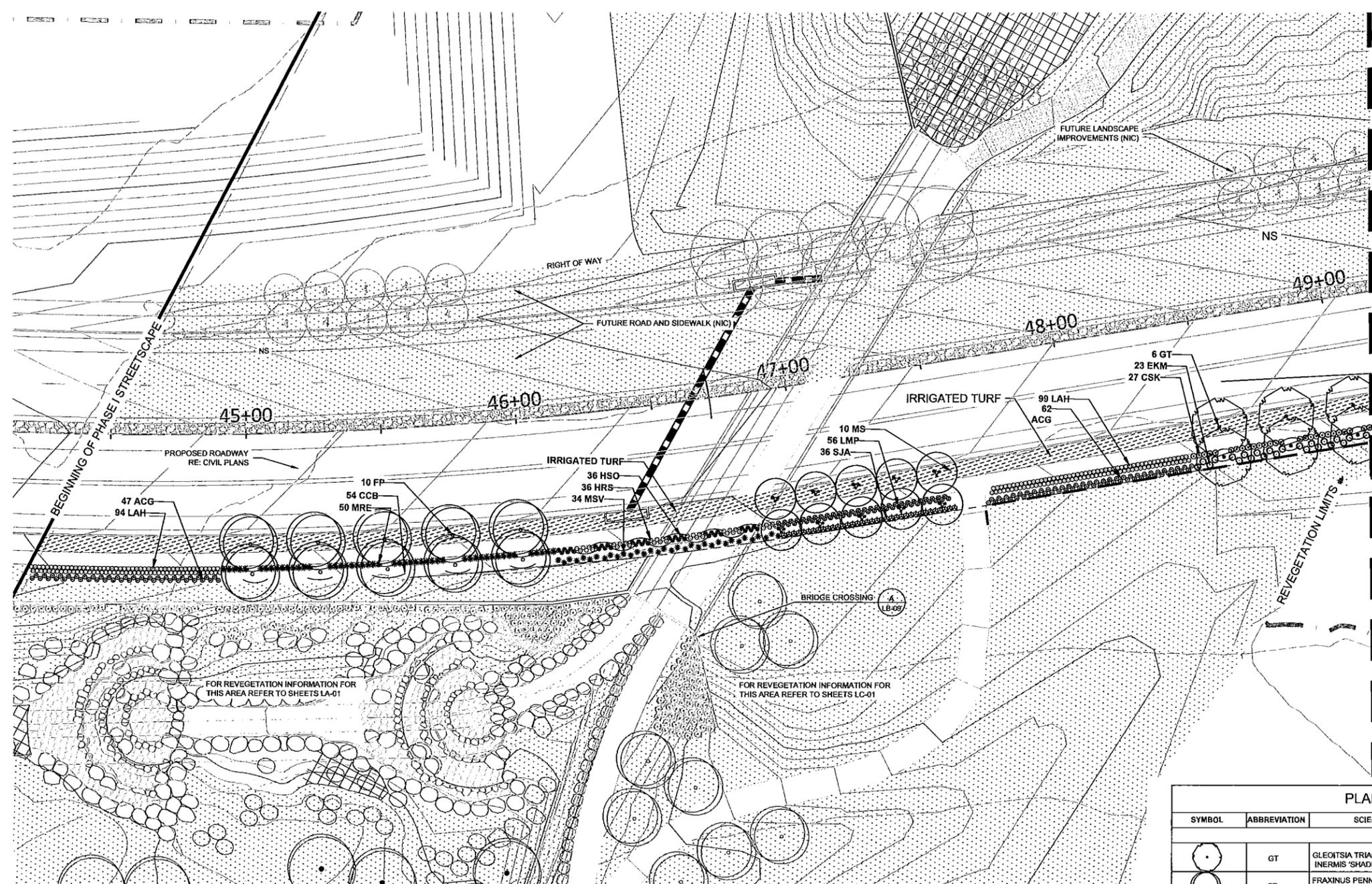
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 PROJ. ASSOC.: LB
 DRAWN BY: LB
 DATE: 07/07/16
 SHEET
LB
 SHEET INDEX
 COVER SHEET
 7681-000



THIRD SUBMITTAL
MINOR DEVELOPMENT PLAN

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PLANT SCHEDULE B					
SYMBOL	ABBREVIATION	SCIENTIFIC NAME	COMMON NAME	QUANTITY	NOTES
DECIDUOUS TREES					
	GT	GLEITSIA TRIACANTHOS VAR. INERMIS 'SHADEMASTER'	SHADMASTER HONEYLOCUST	30	2 1/2" B&B
	FP	FRAXINUS PENNSYLVANICA 'PATMORE'	PATMORE ASH	40	2 1/2" B&B
	MS	MALUS 'SPRING SNOW'	SPRING SNOW CRABAPPLE	36	2" B&B
	GA	GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	30	2" B&B
SHRUBS					
	ACG	ACHILLEA 'CORONATION GOLD'	GOLDEN YELLOW YARROW	744	5 GAL.
	CCB	CARYOPTERIS X CLADONENSIS 'BLUE MIST'	BLUE MIST SPIREA	205	5 GAL.
	CSK	CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	127	5 GAL.
	EKM	EUONYMUS KIATSCHOVICUS 'MANHATTAN'	MANHATTAN EUONYMUS	135	5 GAL.
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	NS	NATIVE SEED MIX	SEE SEED MIX ON LB-COVER	188,117 SF	

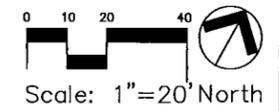
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REVISION	

Manhard **associates inc.**
CONSULTING
2883 South Peoria Street, Ste 101
Aurora, Colorado 80014
Phone: 303.277.2792
Fax: 303.277.2793

BELFORD AVE. REVEGETATION PLAN
PARKER, COLORADO
COMPARK VILLAGE PLANNED DEVELOPMENT

PROJ. MGR.: JMV
PROJ. ASSOC.: JBI
DRAWN BY: JBI
DATE: 07/07/16
SHEET
LB - 01
SHEET 1 OF 10
7681-000

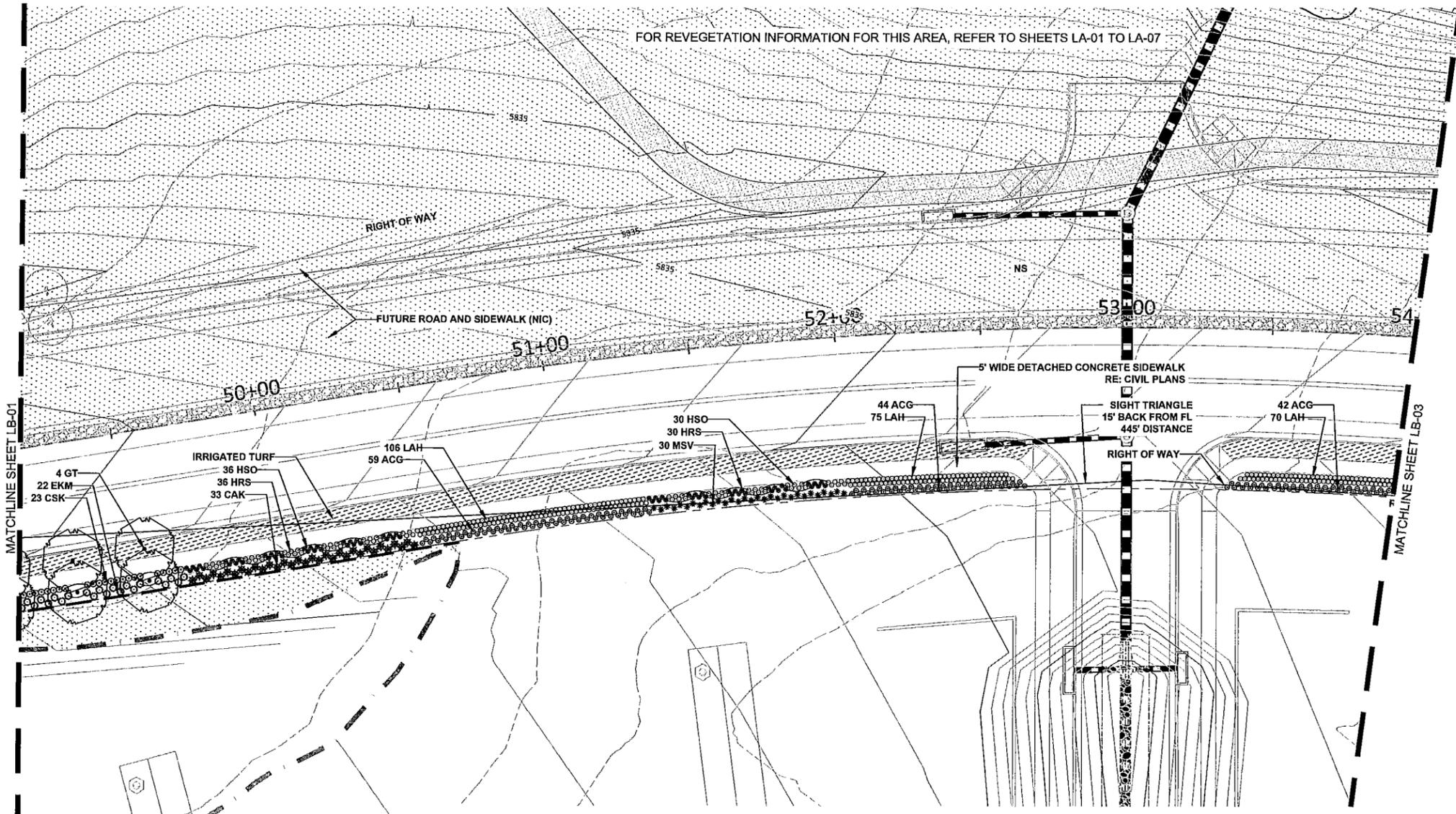
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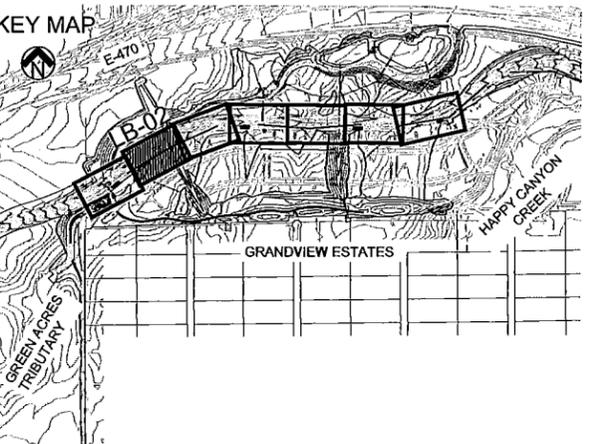
THIRD SUBMITTAL
MINOR DEVELOPMENT PLAN

LANDSCAPE NOTES:

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FOR REVEGETATION INFORMATION FOR THIS AREA, REFER TO SHEETS LA-01 TO LA-07



PLANT SCHEDULE B					
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DECIDUOUS TREES					
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REVISION	

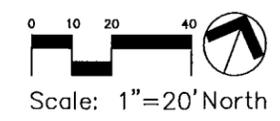
Manhard **associates inc.**
CONSULTING
2593 South Pacific Street, Ste. 101
Aurora, Colorado 80014
Phone: 303.750.7700
FAX: 303.750.7700
www.manhardassociates.com

BELFORD AVE. REVEGETATION PLAN
PARKER, COLORADO
COMPARK VILLAGE PLANNED DEVELOPMENT

PROJ. MGR.: MW
PROJ. ASSOC.: JF
DRAWN BY: JF
DATE: 07/07/16

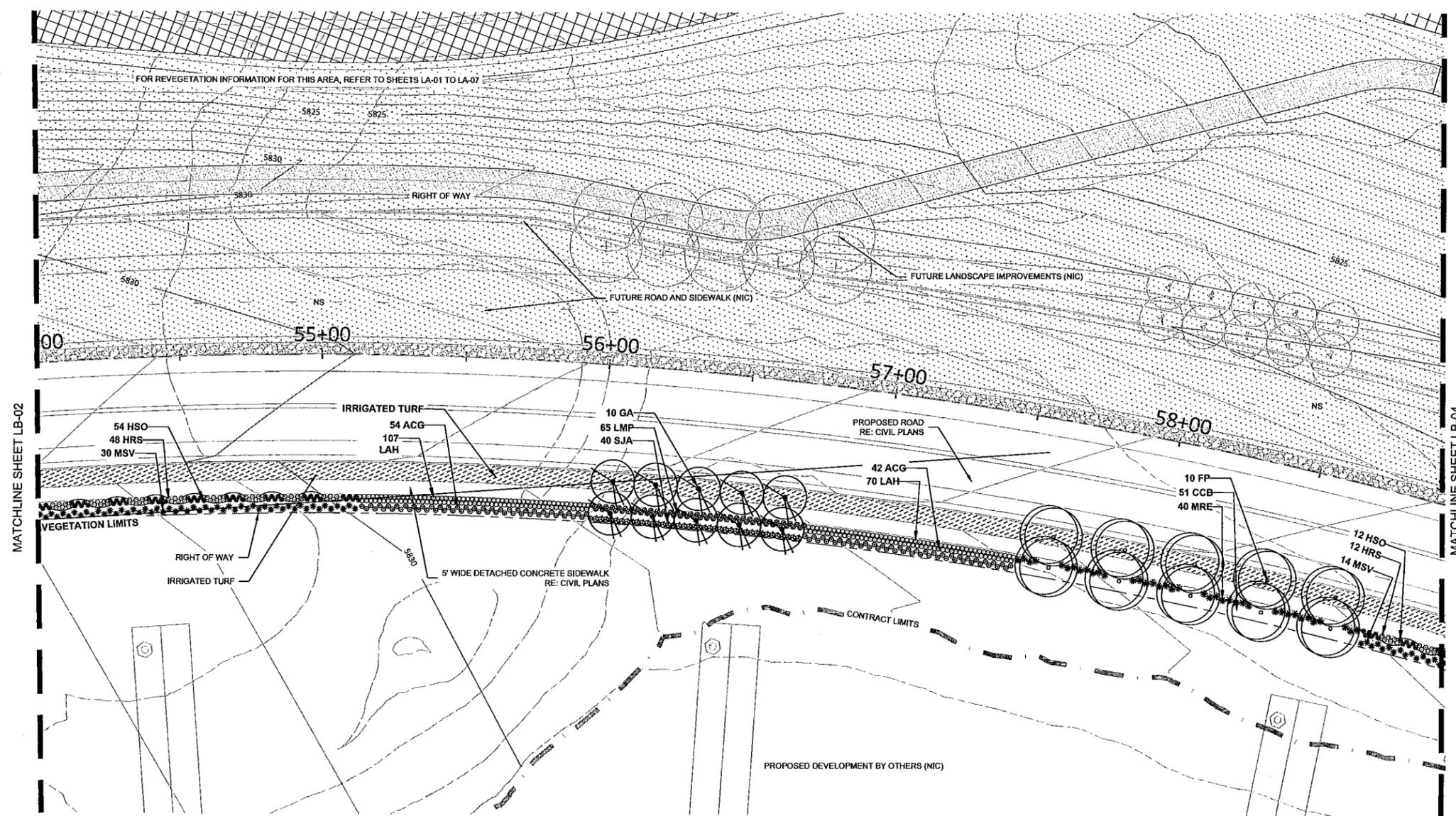
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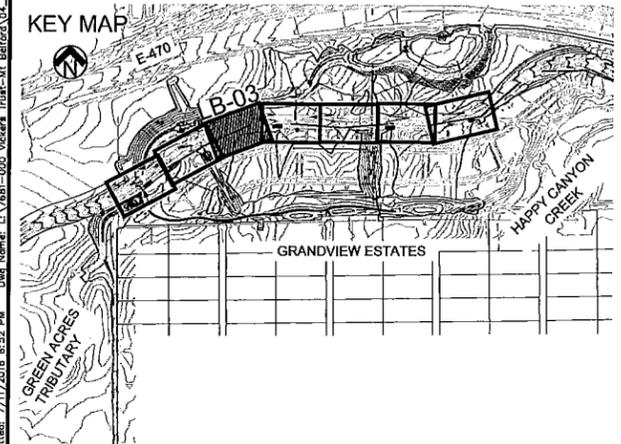


THIRD SUBMITTAL
MINOR DEVELOPMENT PLAN

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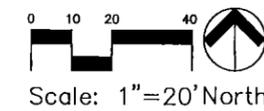


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 PROJECT MGR: MJW
 PROJ ASSOC: JEB
 DRAWN BY: JEB
 DATE: 07/07/16
 SHEET
LB - 03
 SHEET 3 OF 10
 7681-000

Manhard **associates inc.**
 CONSULTING
 2653 South Peoria Street, Ste 101
 Aurora, Colorado 80014
 Phone: (303) 747-7132
 Fax: (303) 747-7133
 www.manhardconsulting.com

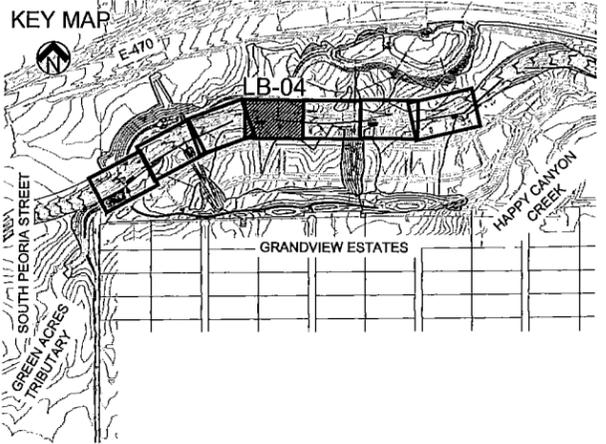
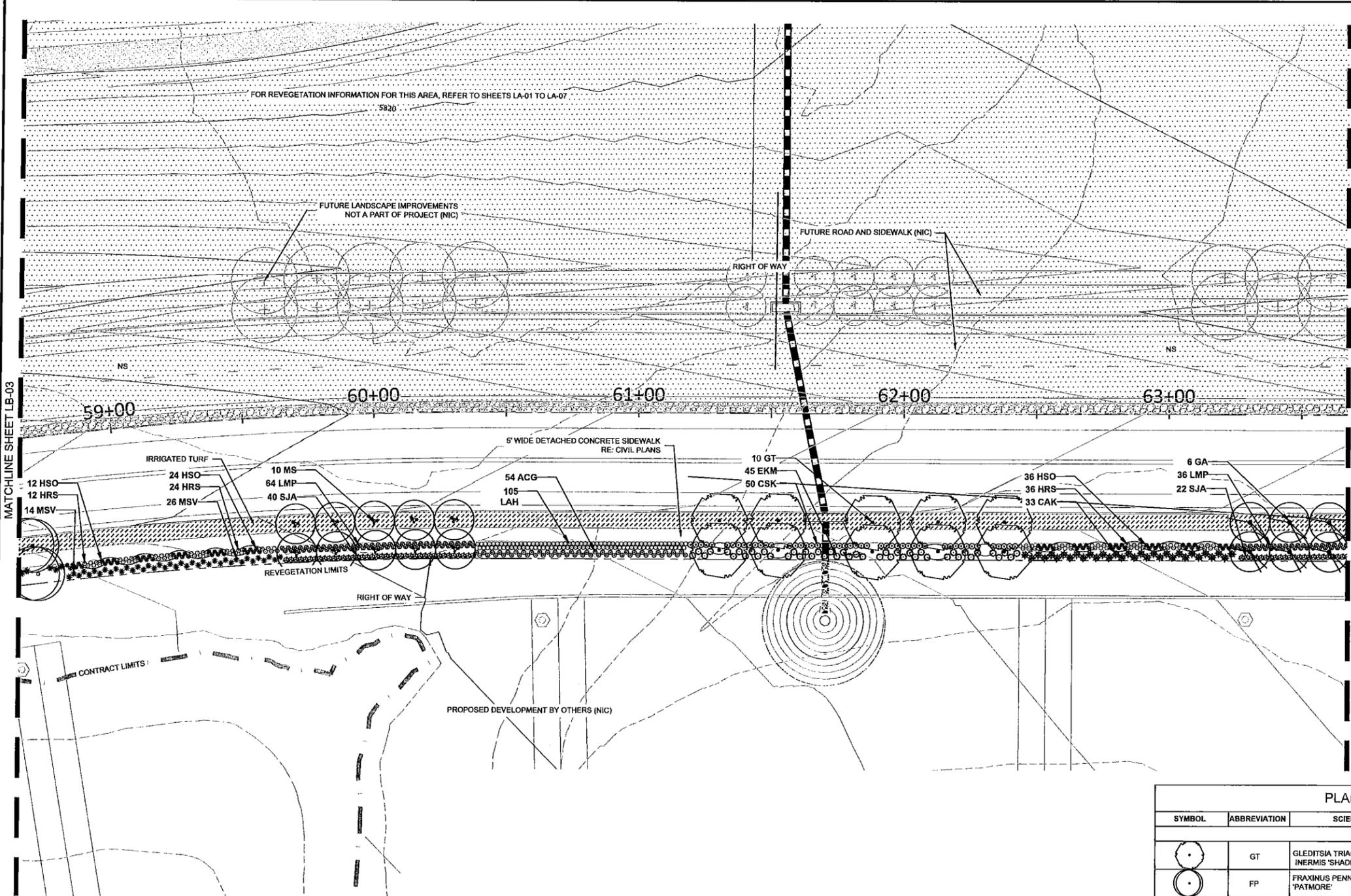
BELFORD AVE. REVEGETATION PLAN
PARKER, COLORADO
COMPARK VILLAGE PLANNED DEVELOPMENT



THIRD SUBMITTAL
MINOR DEVELOPMENT PLAN

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4. STEEL LANDSCAPE EDGING TO BE PLACED ALONG BACK EDGE OF ALL PLANTING BEDS ALONG RIGHT-OF-WAY LINE. SEE SPECIFICATIONS FOR TYPE AND APPROXIMATE QUANTITY.
5. ALL LANDSCAPE IMPROVEMENTS SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM.
6. IRRIGATED TURF SHALL BE DURABLE TALL FESCUE SOD AVAILABLE THROUGH GRAFF TURF FARMS, FORT MORGAN, CO 1-800-280-8873 OR APPROVED EQUAL.



PLANT SCHEDULE B					
SYMBOL	ABBREVIATION	SCIENTIFIC NAME	COMMON NAME	QUANTITY	NOTES
DECIDUOUS TREES					
	GT	GLEDITSIA TRIACANTHOS VAR. INERMIS 'SHADEMASTER'	SHADMASTER HONEYLOCUST	30	2 1/2' B&B
	FP	FRAXINUS PENNSYLVANICA 'PATMORE'	PATMORE ASH	40	2 1/2' B&B
	MS	MALUS 'SPRING SNOW'	SPRING SNOW CRABAPPLE	36	2' B&B
	GA	GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	30	2' B&B
SHRUBS					
	ACG	ACHILLEA 'CORONATION GOLD'	GOLDEN YELLOW YARROW	744	5 GAL.
	CCB	CARYOPTERIS X CLADONENSIS 'BLUE MIST'	BLUE MIST SPIREA	205	5 GAL.
	CSK	CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	127	5 GAL.
	EKM	EUONYMUS KIAUTSCHOWICUS 'MANHATTAN'	MANHATTAN EUONYMUS	135	5 GAL.
	SJA	SPIRAEA JAPONICA ALBIFLORA	SPIREA JAPANESE WHITE	236	5 GAL.
GRASSES AND PERENNIALS					
	CAK	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER GRASS	141	1 GAL.
	HRS	HEMEROCALLIS 'RUBY STELLA'	RUBY STELLA DAYLILY	342	1 GAL.
	HSO	HEMEROCALLIS 'STELLA DE ORO'	STELLA DE ORO DAYLILY	348	1 GAL.
	LMP	LAMDIUM MACULATUM 'PURPLE DRAGON'	PURPLE DRAGON NETTLE	377	1 GAL.
	LAH	LAVANDULA ANGUSTIFOLIO 'HIDCOTE'	DEEP BLUE LAVENDER	1,323	1 GAL.
	MRE	MAHONIA REPENS	CREEPING MAHONIA	170	1 GAL.
	MSV	MISCANTHUS SINENSIS 'VARIEGATUS'	JAPANESE SILVER GRASS	212	1 GAL.
NATIVE SEED MIX					
	NS	NATIVE SEED MIX	SEE SEED MIX ON LB-COVER	188,117 SF	

DATE	
REVISION	

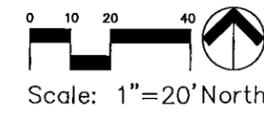
Manhard **associates inc.**
CONSULTING
2833 South Peoria Street, Ste 101
Aurora, Colorado 80014
Phone: 303.743.7100
FAX: 303.743.7100

BELFORD AVE. REVEGETATION PLAN
PARKER, COLORADO
COMPARK VILLAGE PLANNED DEVELOPMENT

PROJ. MGR.: JMV
PROJ. ASSOC.: JMV
DRAWN BY: JMV
DATE: 07/07/16

SHEET
LB - 04
SHEET 4 OF 10
7681-000

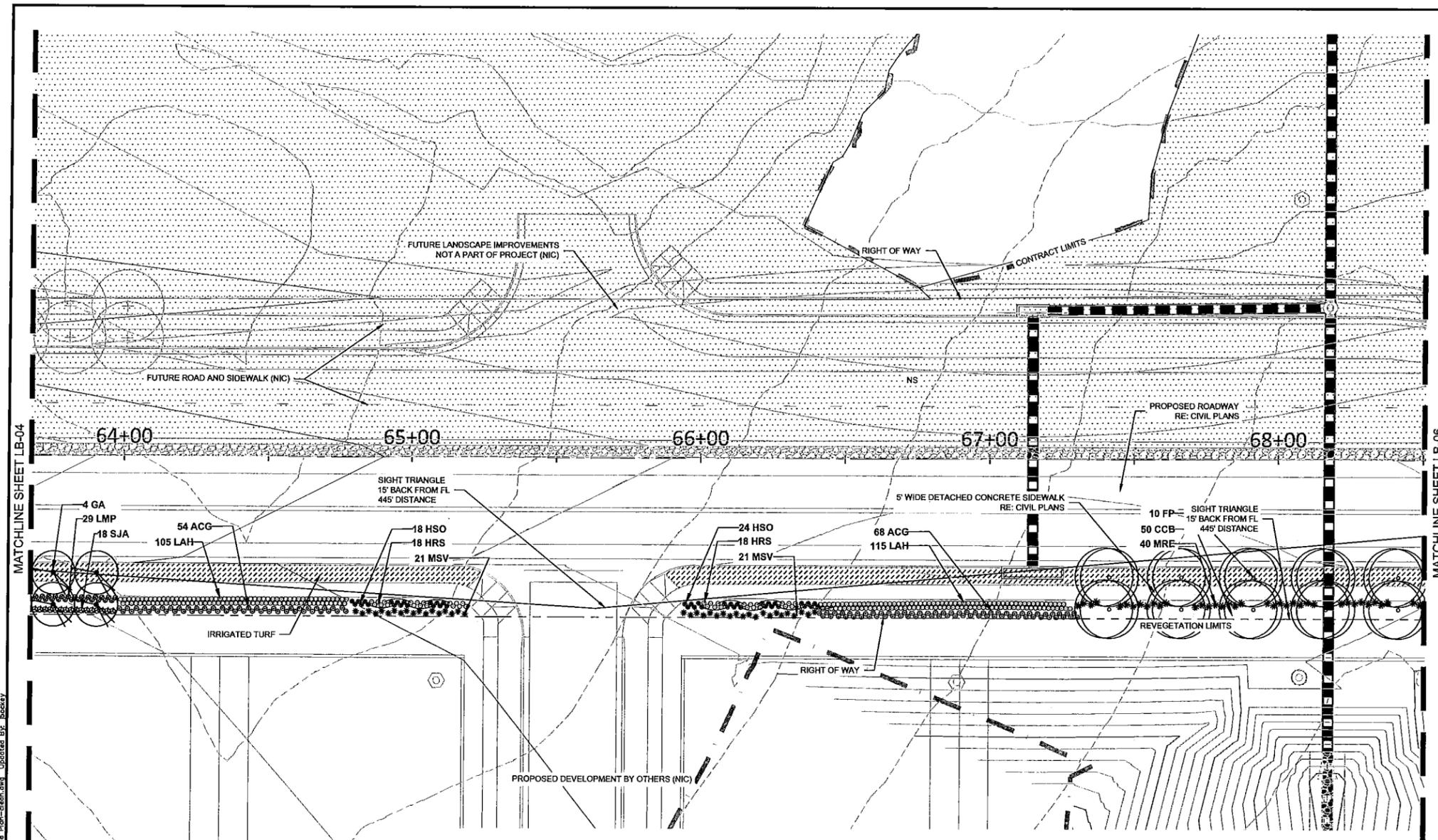
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THIRD SUBMITTAL
MINOR DEVELOPMENT PLAN

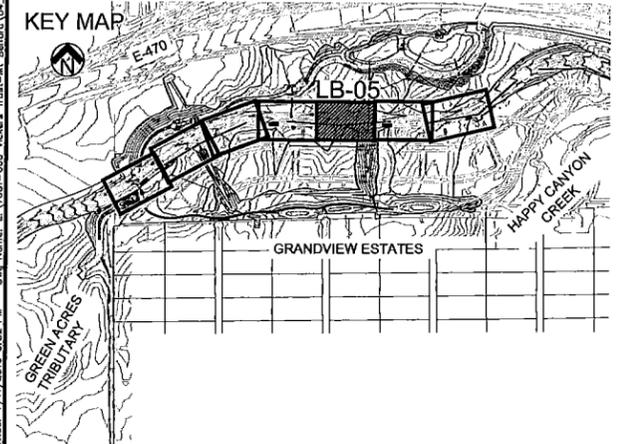
LANDSCAPE NOTES:

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2. ALL SEED AREAS SHALL BE AMENDED WITH 2 CUBIC YARDS OF ORGANIC SOIL AMENDMENT PER EVERY 1000 SF.
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MATCHLINE SHEET LB-04

MATCHLINE SHEET LB-06



PLANT SCHEDULE B					
SYMBOL	ABBREVIATION	SCIENTIFIC NAME	COMMON NAME	QUANTITY	NOTES
DECIDUOUS TREES					
	GT	GLEDITSIA TRIACANTHOS VAR. INERMIS 'SHADEMASTER'	SHADMASTER HONEYLOCUST	30	2 1/2" B&B
	FP	FRAXINUS PENNSYLVANICA 'PATMORE'	PATMORE ASH	40	2 1/2" B&B
	MS	MALUS 'SPRING SNOW'	SPRING SNOW CRABAPPLE	36	2" B&B
	GA	GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	30	2" B&B
SHRUBS					
	ACG	ACHILLEA 'CORONATION GOLD'	GOLDEN YELLOW YARROW	744	5 GAL.
	CCB	CARYOPTERIS X CADORENSIS	BLUE MIST SPIREA	205	5 GAL.
	CSK	CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	127	5 GAL.
	EKM	EUONYMUS KIANTSCHOVICUS 'MANHATTAN'	MANHATTAN EUONYMUS	135	5 GAL.
	SJA	SPIRAEA JAPONICA ALBIFLORA	SPIREA JAPANESE WHITE	236	5 GAL.
GRASSES AND PERENNIALS					
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	HRS	HEMEROCALLIS 'RUBY STELLA'	RUBY STELLA DAYLILY	342	1 GAL.
	HSO	HEMEROCALLIS 'STELLA DE ORO'	STELLA DE ORO DAYLILY	348	1 GAL.
	LMP	LAMIUM MACULATUM 'PURPLE DRAGON'	PURPLE DRAGON NETTLE	377	1 GAL.
	LAH	LAVANDULA ANGUSTIFOLIO 'HIDCOTE'	DEEP BLUE LAVENDER	1,323	1 GAL.
	MRE	MAHONIA REPENS	CREEPING MAHONIA	170	1 GAL.
	MSV	MISCANTHUS SINENSIS 'VARIEGATUS'	JAPANESE SILVER GRASS	212	1 GAL.
NATIVE SEED MIX					
	NS	NATIVE SEED MIX	SEE SEED MIX ON LB-COVER	188,117 SF	

DATE	
REVISION	

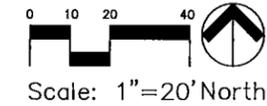
Manhard **associates inc.**
CONSULTING
2953 South People Street, Ste 101
Aurora, Colorado 80014
Phone: 303.296.7132
FAX: 303.296.7133

BELFORD AVE. REVEGETATION PLAN
PARKER, COLORADO
COMPARK VILLAGE PLANNED DEVELOPMENT

PROJ. NO.: 133
PROJ. ASSOC.: JF
DRAWN BY: JF
DATE: 07/07/16

SHEET
LB - 05
SHEET 5 OF 10
7681-000

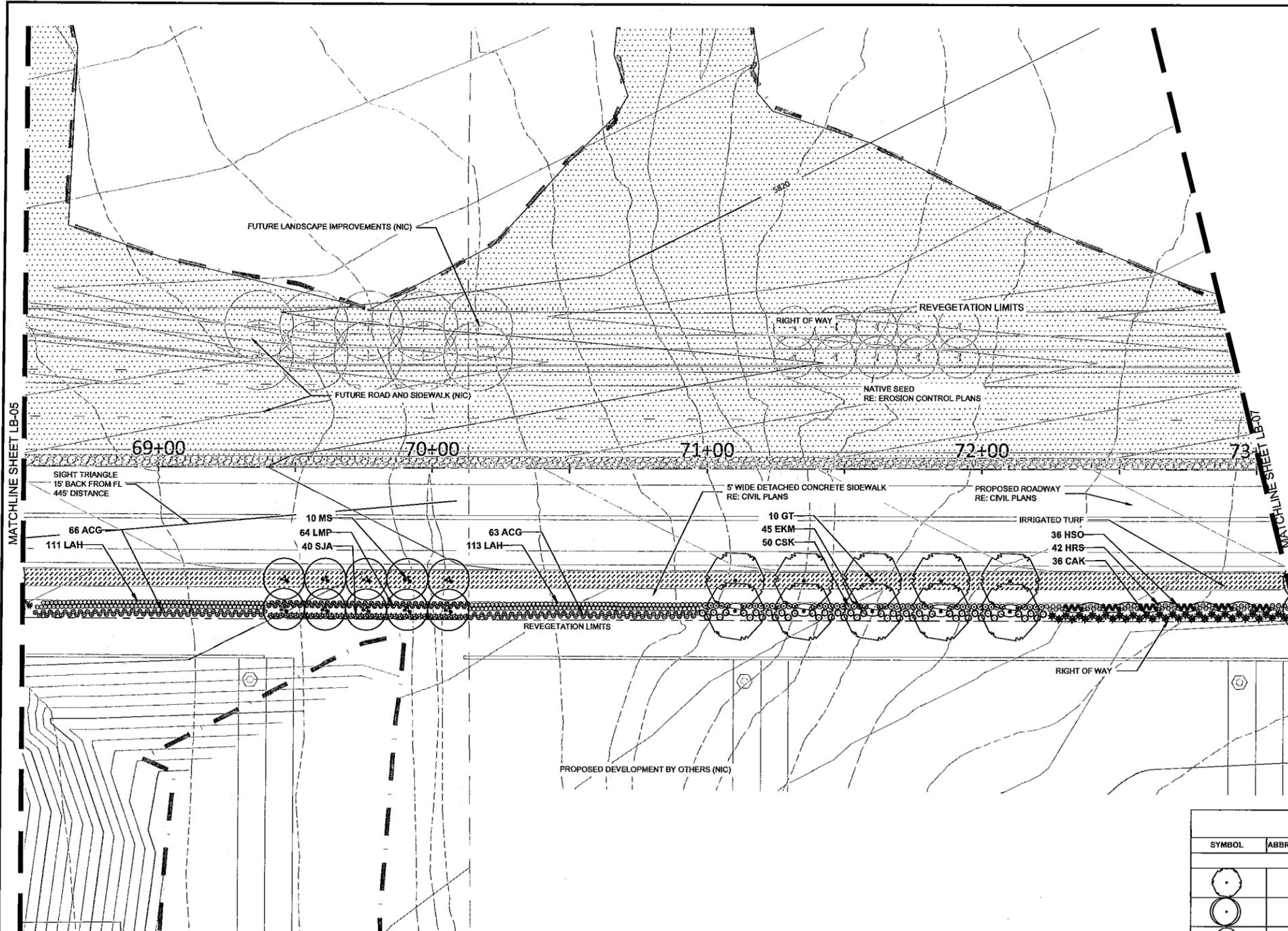
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THIRD SUBMITTAL
MINOR DEVELOPMENT PLAN

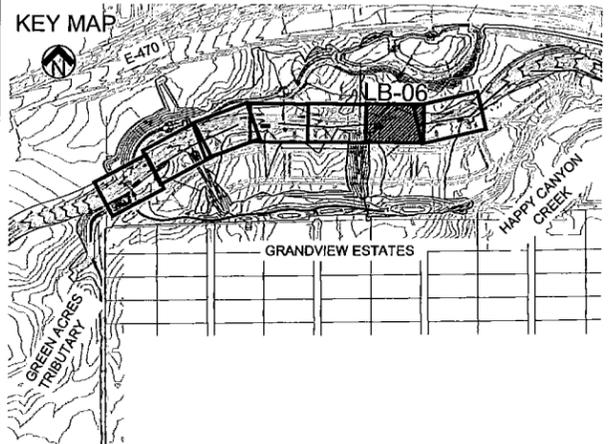
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MATCHLINE SHEET LB-05

MATCHLINE SHEET LB-01



PLANT SCHEDULE B					
SYMBOL	ABBREVIATION	SCIENTIFIC NAME	COMMON NAME	QUANTITY	NOTES
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	FP	FRAXINUS PENNSYLVANICA 'PATMORE'	PATMORE ASH	40	2 1/2' B&B
	MS	MALUS 'SPRING SNOW'	SPRING SNOW CRABAPPLE	36	2' B&B
	GA	GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	30	2' B&B
SHRUBS					
	ACG	ACHILLEA 'CORONATION GOLD'	GOLDEN YELLOW YARROW	744	5 GAL.
	CCB	CARYOPTERIS X CLADONENSIS 'BLUE MIST'	BLUE MIST SPIREA	205	5 GAL.
	CSK	CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	127	5 GAL.
	EKM	EUONYMUS KIATSCHOVICUS 'MANHATTAN'	MANHATTAN EUONYMUS	135	5 GAL.
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	HSO	HEMEROCALLIS 'STELLA DE ORO'	STELLA DE ORO DAYLILY	348	1 GAL.
	LMP	LAMIUM MACULATUM 'PURPLE DRAGON'	PURPLE DRAGON NETTLE	377	1 GAL.
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	MRE	MAHONIA REPENS	CREEPING MAHONIA	170	1 GAL.
	MSV	MISCANTHUS SINENSIS 'VARIEGATUS'	JAPANESE SILVER GRASS	212	1 GAL.
NATIVE SEED MIX					
	NS	NATIVE SEED MIX	SEE SEED MIX ON LB-COVER	188,117 SF	

DATE	
BY	
CHECKED BY	
APPROVED BY	

Manhard **associates inc.**
CONSULTING LTD.
2553 South Peoria Street, Ste 101
Aurora, Colorado 80014
Phone: 303.279.7100
Fax: 303.279.7101
www.manhardconsulting.com

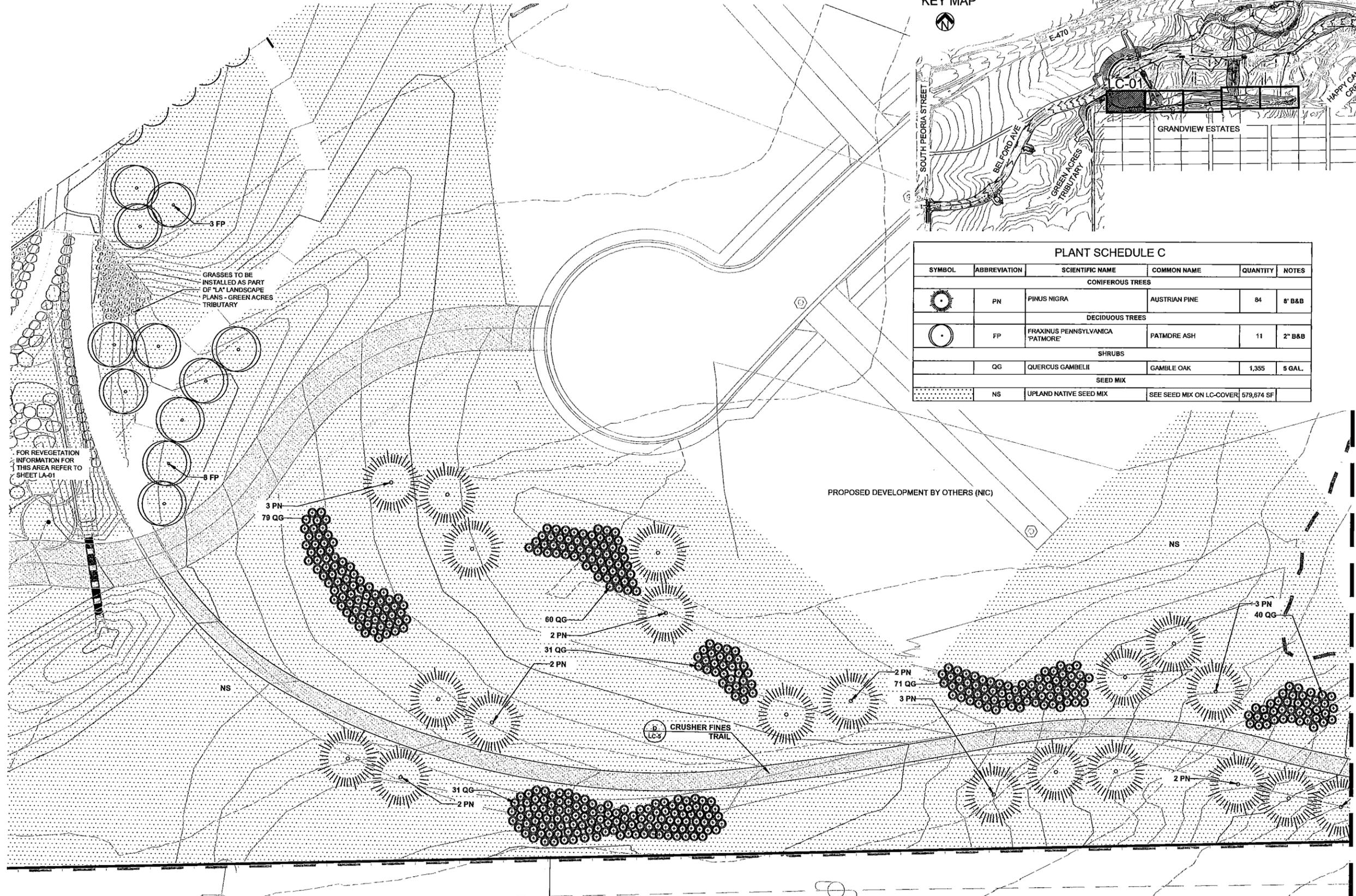
BELFORD AVE. REVEGETATION PLAN
PARKER, COLORADO
COMPARK VILLAGE PLANNED DEVELOPMENT

PROJ. MGR.: MW
PROJ. ASSOC.: JH
DRAWN BY: JH
DATE: 07/07/16

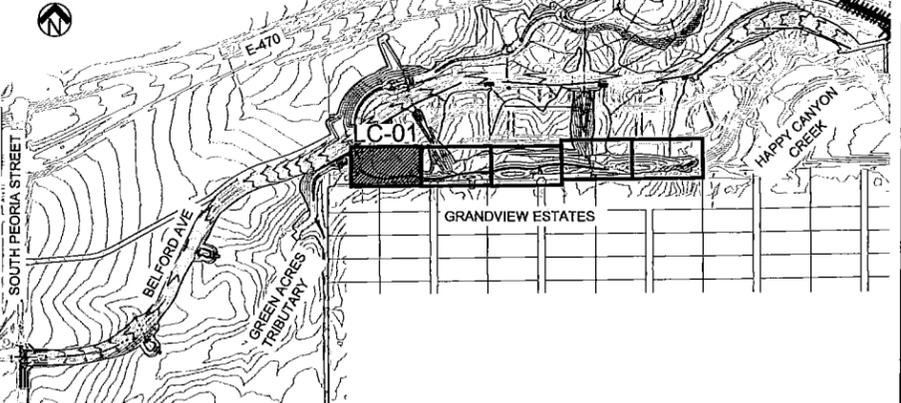
SHEET
LB - 06
SHEET 6 OF 10
7681-000

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KEY MAP



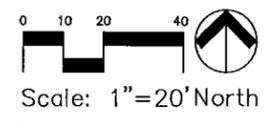
PLANT SCHEDULE C

SYMBOL	ABBREVIATION	SCIENTIFIC NAME	COMMON NAME	QUANTITY	NOTES
CONIFEROUS TREES					
	PN	PINUS NIGRA	AUSTRIAN PINE	84	8' B&B
DECIDUOUS TREES					
	FP	FRAXINUS PENNSYLVANICA 'PATMORE'	PATMORE ASH	11	2" B&B
SHRUBS					
	QG	QUERCUS GAMBELII	GAMBLE OAK	1,355	5 GAL.
SEED MIX					
	NS	UPLAND NATIVE SEED MIX	SEE SEED MIX ON LC-COVER	579,674 SF	

GRASSES TO BE INSTALLED AS PART OF 'LA' LANDSCAPE PLANS - GREEN ACRES TRIBUTARY

FOR REVEGETATION INFORMATION FOR THIS AREA REFER TO SHEET LA-01

- LANDSCAPE NOTES:**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL GRADING AND REVEGETATION IMPROVEMENTS SHOWN ON THESE DRAWINGS.
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 4. ALL LANDSCAPE IMPROVEMENTS SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM.



THIRD SUBMITTAL
MINOR DEVELOPMENT PLAN

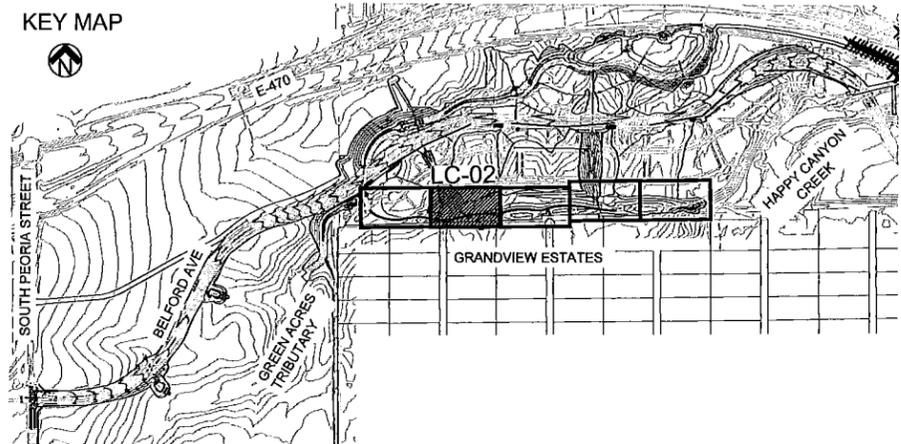
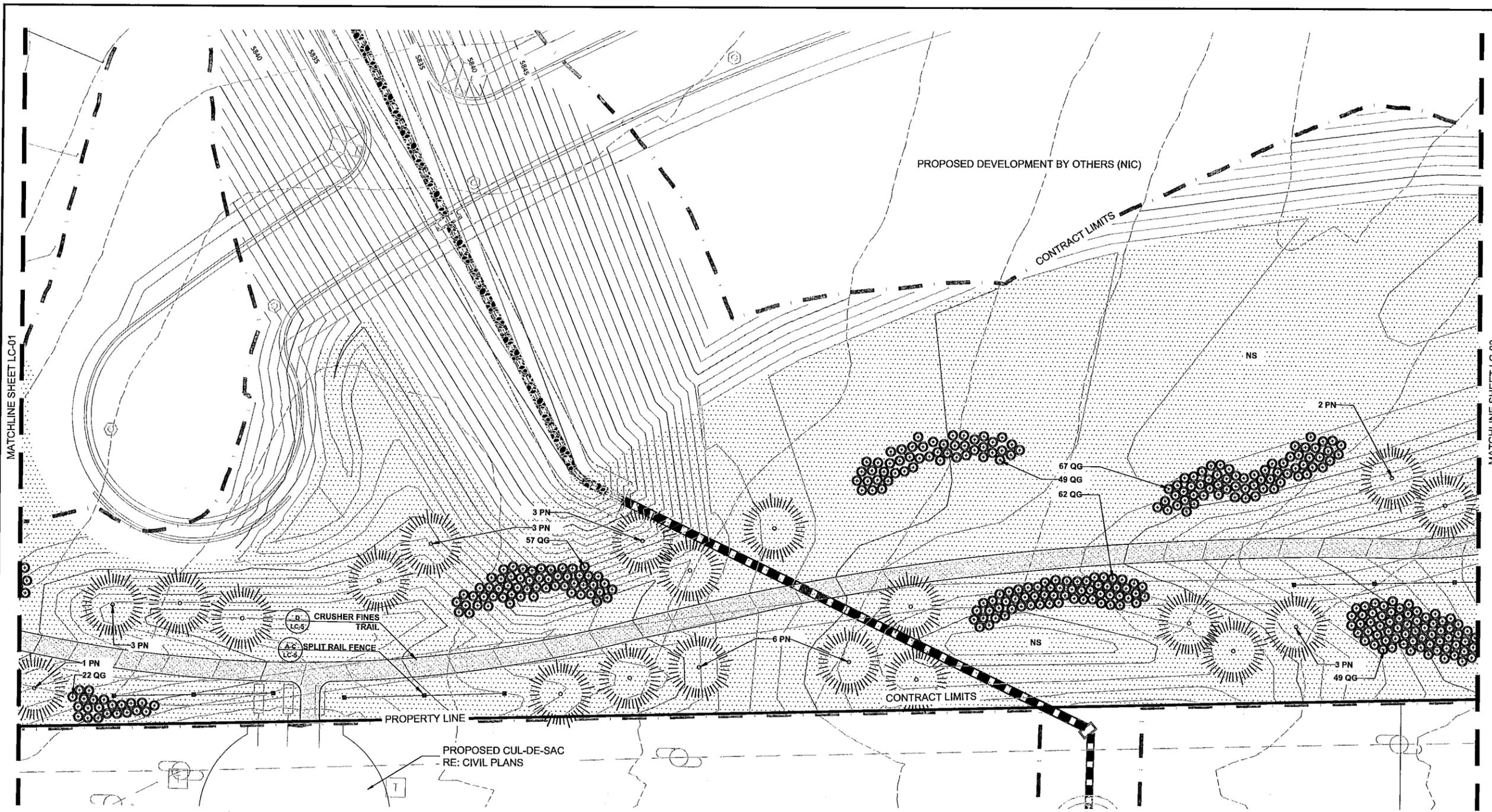
DATE	
REVISIONS	

Manhard CONSULTING
 associates inc.
 2583 South Peoria Street, Ste 101
 Aurora, Colorado 80014
 Phone: 303.733.7116
 Fax: 303.733.7117
 Website: www.manhardconsulting.com

BELFORD AVE. REVEGETATION PLAN
PARKER, COLORADO
COMPARK VILLAGE PLANNED DEVELOPMENT

PROJ. MGR.: MW
 PROJ. ASSOC.: JH
 DRAWN BY: JH
 DATE: 07/07/16
 SHEET
LC - 01
 SHEET 1 OF 8
 7681-000

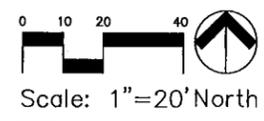
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PLANT SCHEDULE C					
SYMBOL	ABBREVIATION	SCIENTIFIC NAME	COMMON NAME	QUANTITY	NOTES
CONIFEROUS TREES					
	PN	PINUS NIGRA	AUSTRIAN PINE	84	8' B&B
DECIDUOUS TREES					
	FP	FRAXINUS PENNSYLVANICA 'PATMORE'	PATMORE ASH	11	2" B&B
SHRUBS					
	QG	QUERCUS GAMBELII	GAMBLE OAK	1,355	5 GAL.
SEED MIX					
	NS	UPLAND NATIVE SEED MIX	SEE SEED MIX ON LC-COVER	579,674 SF	

- LANDSCAPE NOTES:**
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THIRD SUBMITTAL
MINOR DEVELOPMENT PLAN



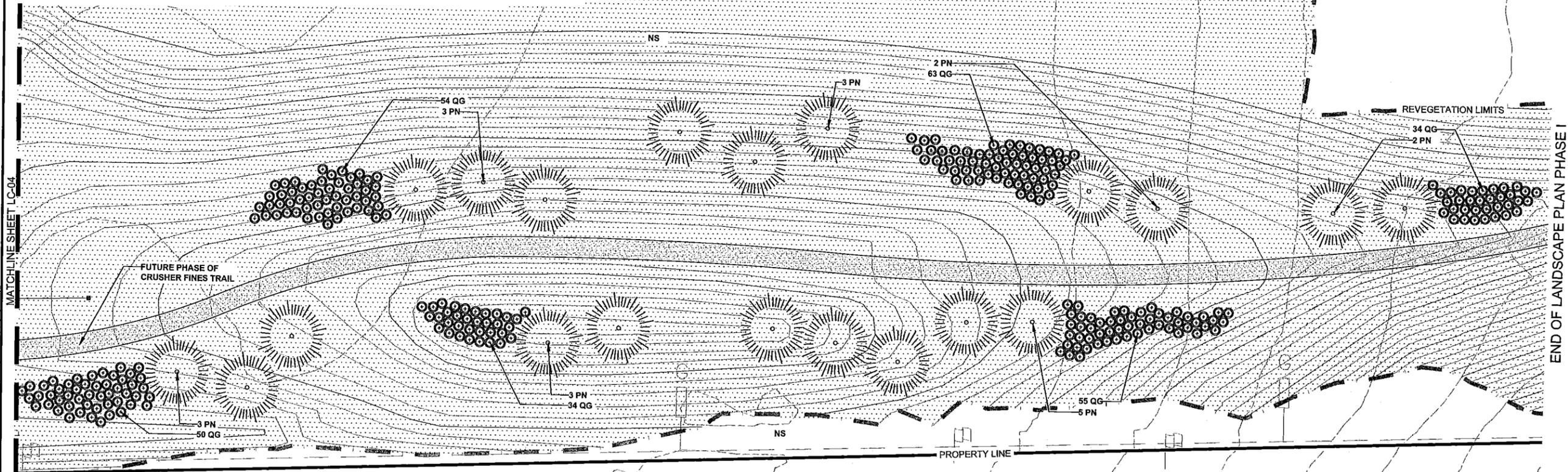
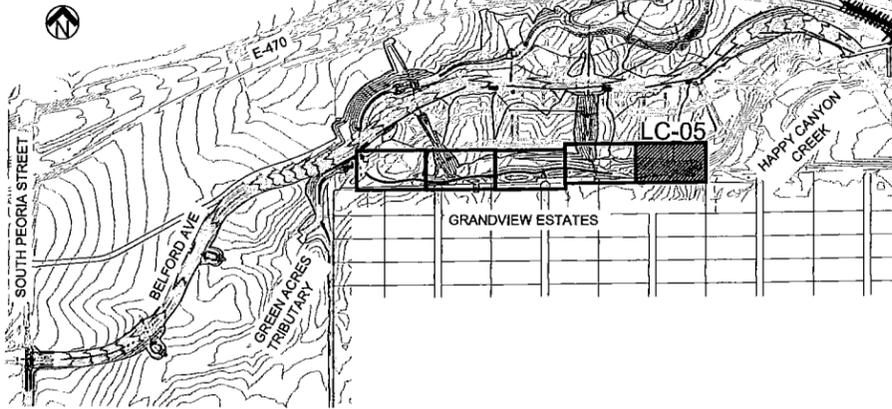
DATE	REVISION

Manhard CONSULTING LLC
 associates inc.
 2953 South Peoria Street, Ste 101
 Aurora, Colorado 80014
 Phone: 303.770.7201 FAX: 770.7732
 www.manhardconsulting.com

BELFORD AVE-REVEGETATION PLAN
PARKER, COLORADO
COMPARK VILLAGE PLANNED DEVELOPMENT

PROJ MGR: MW
 PROJ ASSOC: JB
 DRAWN BY: JB
 DATE: 07/07/16
 SHEET
LC - 02
 SHEET 2 OF 8
 7881-000

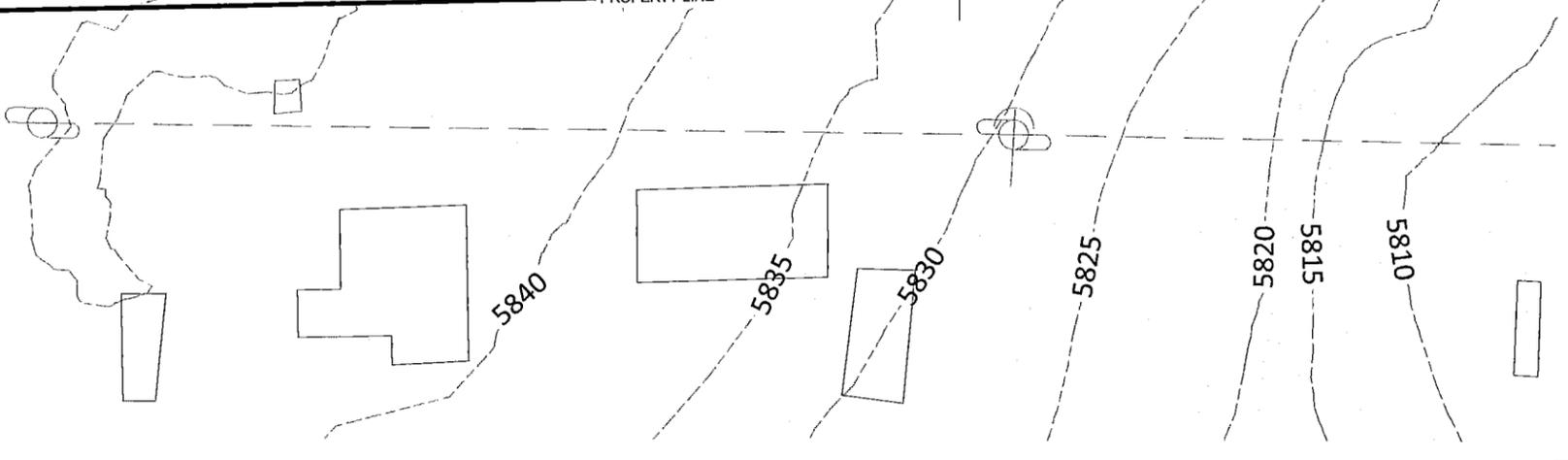
KEY MAP



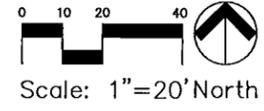
Plotted: 7/17/2016 6:55 PM Dwg Name: L:\7881-000\Users\Trent\Trent-Hit Belford\04_CAD\4.1_Sheets\160707_7881_Landscape Plan-plan.dwg Updated By: bodev

PLANT SCHEDULE C

SYMBOL	ABBREVIATION	SCIENTIFIC NAME	COMMON NAME	QUANTITY	NOTES
CONIFEROUS TREES					
	PN	PINUS NIGRA	AUSTRIAN PINE	84	8" B&B
DECIDUOUS TREES					
	FP	FRAXINUS PENNSYLVANICA 'PATMORE'	PATMORE ASH	11	2" B&B
SHRUBS					
	QG	QUERCUS GAMBELII	GAMBLE OAK	1,355	5 GAL.
SEED MIX					
	NS	UPLAND NATIVE SEED MIX	SEE SEED MIX ON LC-COVER	579,674 SF	



THIRD SUBMITTAL
MINOR DEVELOPMENT PLAN



DATE	REVISION

Manhard CONSULTING LTD.
 2953 South Peoria Street, Ste. 101
 Aurora, Colorado 80014
 Phone: 303.733.7152
 Fax: 303.733.7153
 www.manhardconsulting.com

BELFORD AVE. REVEGETATION PLAN
PARKER, COLORADO
COMPARK VILLAGE PLANNED DEVELOPMENT

PROJ. MGR: MJW
 PROJ. ASSOC: JEB
 DRAWN BY: JEB
 DATE: 07/07/16

SHEET
LC - 05
 SHEET 5 OF 6
 7881-000



PARKER

C O L O R A D O

Community Development Department Memorandum Development Review Division

To: Town of Parker Planning Commission

From: Patrick Mulready, Senior Planner
Bryce Matthews, Planning Manager

Through: John Fussa, Community Development Director

Date: August 25, 2016

Regarding: Public Hearing:
Compark Village South Filing 2 – Sketch/Preliminary Plan
[Case Nos. SUB16-002 and SUB16-003]

Section I. Subject & Proposal:

Location: South of E-470 and south of the future Belford Avenue, north of Grandview Estates subdivision, between Chambers Road and Peoria Street

Applicant: Michael Vickers, 470 Compark LLC

Proposal: The applicant seeks a Sketch/Preliminary Plan to re-subdivide Tract H, Compark Village South Filing 1, into a residential neighborhood containing 120 duplex units and 72 single-family residential dwelling units on 32.86 acres. Tract H is located on the south side of Belford Avenue in what is represented on the approved Development Plan for Compark Village at Planning Areas 17 and 18.

Section II. Background:

History: The subject property was annexed in January 2015. In December 2015, the applicant filed the Compark Village South Filing 1 Minor Development Plat (MDP) to establish the right-of-way for Belford Avenue and superblock the remainder of the Compark Village South property into a series of tracts to be replatted in the future. This application proposes to re-subdivide the 32.86 acres established as Tract H in Compark Village South Filing 1.

Site Data: The site has three single-family residences, one with accessory agricultural use. The site slopes up from the future Belford Avenue to a ridge located near the south end of the property adjacent to Grand View Estates. The site is also impacted by the 100-Year Floodplain for both Happy Canyon Creek and the Green Acres Tributary, both of which flow north, under E-470.

Land Use Summary Data:

Total Area: 32.86 acres
Zoning: PD – Planned Development: Compark Village
Existing Use: Three single family residences

Surrounding Zoning & Land Use:

North: PD – Planned Development, Compark Village currently vacant, the zoning allows for a variety of commercial and residential uses and future Belford Avenue.
East: A – Agricultural in Douglas County, known as the Chambers Highpoint property, currently vacant and undeveloped
South: PDNU – Planned Development (Nonurban) in unincorporated Douglas County, Grandview Estates contains single-family residential averaging 2.5 dwelling units per acre
West: PDU – Planned Development (Urban), Airport 320 currently vacant and undeveloped

Section III.

Analysis:

Access & Circulation:

The site has no direct access to any existing street. The applicant proposes to create a major collector classification roadway from Peoria Street across the adjacent Airport 320 property and into the Compark Village South property to a temporary terminus at Happy Canyon Creek. The developers of the adjacent Chambers Highpoint property will participate with the developer of Compark Village South in the construction of a bridge over Happy Canyon Creek, and will then extend Belford Avenue east to Chambers Road. Belford Avenue will be the road providing internal access to all future development areas within Compark Village South.

Compark Village South Filing 2 will access Belford Avenue at three full-movement intersections along the filing's northern boundary.

Utilities:

This property is within the Stonegate Village Metropolitan District's service area. Electrical service will be provided by IREA and natural gas will be provided by Xcel Energy. Utility mains will be constructed as part of Belford Avenue and extended into the Filing 2 area.

Drainage, Grading & Erosion Control:

The site slopes up from the future Belford Avenue to a ridge located near the south end of the property adjacent to Grand View Estates. As part of the regional detention system for all of Compark Village South, Filing 2 will drain to a series of detention ponds along the Green Acres Tributary where the water will be held long enough for water quality treatment before being discharged to the north.

Section IV.

Additional Staff Findings:

This represents the first residential filing within the Compark Village South neighborhood and the first filing to subdivide one of the superblock tracts established with Compark Village South Filing 1. This filing is proposing 120 duplex units. These duplex units will be situated along the northern portion of the filing and will be internally accessed via shared driveways. These are depicted on the Sketch/Preliminary Plan as Tracts B, C, D, E, F, G, H, I, K, L, M, N, O, P and R.

The remaining 72 lots within the filing will be single-family detached and will be built by the same homebuilder as the duplex units to the north. Tracts S and T at the south of the filing will comprise the internal park system and are intended to expand the landscape buffer between active development within Compark Village South and the existing Grandview Estates neighborhood. Within Tracts S and T are a series of trails which link to the open space trails established with the platting of Tract K in Compark Village South Filing 1. These internal trails in Tracts S and T also contain work out stations positioned at regular intervals given the linear nature of the two tracts. The east end of Tract T also contains a field, picnic shelter, outdoor barbecue grills and a playground structure all adjacent to the south terminus of Hummingbird Street.

Tracts A, J and Q are landscape separation buffers from the edge of sidewalk along to Belford Avenue to the platted lot line of the nearby duplex units. Similar to what the Town negotiated in filings adjacent Chambers Road in Cottonwood Highlands, the landscape buffers along Belford Avenue will be a minimum fifteen-foot width and an average twenty feet.

Tract Q and Hummingbird Street, as well as, Bald Eagle Street provide view corridors from Belford Avenue through the site and to the community park at the south end of Filing 2. Note that the proposed grading in both Filing 1 (which includes the open space Tract K south of Filing 2) and the residential Filing 2 are done in such a way to place landscape berms near the lots in Grandview Estates and then step the remainder of the development downhill to the north. While this will not completely prevent views of homes within Compark Village South from the adjacent Grandview Estates; the different finished grade, the 350 foot separation between building edges, the berming and additional landscaping, should provide effective screening.

Section V.

Referral Agency Comments:

Below are the condensed versions of referral responses received from affected agencies:

Town of Parker Engineering Dept.:

Show Temporary Irrigation (TI) in all areas of permanent native vegetation

Town of Parker Police Department:

No comment

South Metro Fire & Rescue Authority:

No comment

Stonegate Village Metropolitan District:

No comment

Douglas County Planning Department:

All proposed street names shown on the exhibit for the Sketch/Preliminary Plan are denied by E911 as duplicates. Please submit other proposed street names for approval to use on the final plat.

Douglas County School District:

Under the terms of the Annexation Agreement, the developer shall pay to the School District \$850.00 per dwelling unit and cash in lieu of a 5.63 acre land dedication for a school site. These fees will be specified in the Subdivision Improvement Agreement for the property.

E-470 Public Highway Authority:

E-470 is not responsible for sound mitigation. Town of Parker "E-470 Annexation Agreement"; 10 September 2012: 2. Occupying space for utility work, access, and any construction within the E-470 right-of-way, property owned fee, Multi-Use Easement, and or other easements, will require an E-470 Construction or Access Permit.

Centennial Airport:

Due to the location of the proposed development and its close proximity to the Airport, the Arapahoe County Public Airport Authority continues to oppose this development. The proposed Subdivision lies approximately 5,620 feet from the nearest runway at Centennial Airport and within the Restricted Development Area (RDA). The site lies directly adjacent to the Approach Zone (AZ) of the Airport Influence Area (AIA). Based on the Airport's Land Use Guidelines, all new noise sensitive developments are prohibited within the RDA. Due to the proximity of the Airport the development will be subjected to numerous aircraft over flights at low altitudes and their associated effects. These effects include, but are not limited to: noise, smoke, dust, fumes and vibrations.

Cherry Creek Basin Water Quality Authority:

No comment

Urban Drainage & Flood Control District:

No Comment

Xcel Energy:

Xcel reminds the applicant to contact their offices before commencing construction and requests that all applicable easements to support future development be dedicated at the time of replat.

IREA:

Requests the dedication of standard lot boundary utility easements at the time of Final Plat.

CenturyLink Communications:

No comment

Comcast:

No comment

Grandview Estates Neighborhood

Association:

Same comment memo as the Grandview Estates Rural Water Conservation District

Grandview Estates Rural Water Conservation District:

- Notes that there are identified wildlife corridors on site, and indicates they believe the tracts these areas are preserved within are inadequate. (Staff Response: The wildlife corridors on site consist of the Happy Canyon Creek 100-year floodplain and the Green Acres Tributary. Happy Canyon Creek is a regulatory floodplain as identified by FEMA, and is not being impacted. Green Acres Tributary is not a regulatory floodplain. It has been channelized north of E-470 to a point of common confluence with Happy Canyon Creek north Compark Village. The applicant is employing the same stabilization methodology with the installation of a series of regional detention ponds along the alignment of Green Acres Tributary.)
- Also notes that the existing homes on site will require asbestos mitigation before demolition can occur. (Staff Response: This will occur as part of the issuance of a demolition permit by the Town's building division.)
- GERWCD is concerned with the proximity of development to the stone house on the Kaiser Ranch.
- GERWCD believes open space dedications are inadequate. (Staff Response: It was determined at the time of zoning that the historic structure was not being affected by the development of Compark Village South.)
- Notes that the project is indicating a Filbert Street address, even though Filbert Street was vacated by Douglas County. (Staff Response: Filbert Street is still referenced in the Town's GIS system, as it has not been replaced by any streets since its vacation. This will change when Belford Avenue is constructed.)
- Renews request that Grandview Estate streets will not be used for construction access. (Staff Response: the applicant has agreed that construction access for Belford Road and the public improvements within Compark Village South Filing 1 will come from Peoria Street to the west.)
- Questions whether the applicant has made provisions for water and sanitary sewer service. (Staff Response: a finding was made at the time of annexation and zoning that the Stonegate Village Metropolitan District would be the water and sanitary sewer service provider for the site.)
- Does not believe an adequate Park Facilities Master Plan was provided, nor has tree mitigation been addressed. (Staff response: the Park Facilities Master Plan for this filing includes street scape landscaping, landscaping within the open space tracts and landscaping around the drainage facilities to be constructed with this filing. Those plans are included as an exhibit attachment to this staff report.)

**Section VI.
Staff Recommendation:**

Staff recommends that Planning Commission recommend Town Council approve the Compark Village South Filing No. 2 Sketch/Preliminary Plan subject to the Town's Land Development Ordinance and the following conditions of approval:

1. The construction plans submitted with the final plat for this property must address the comments issued by the Town's Engineering Department on August 1, 2016.
2. Prior to submittal of the final plat application, the applicant must obtain written approval for the street names to be used within Compark Village South Filing 2 from the Douglas County Addressing Specialist, as specified in her comments dated July 14, 2016.
3. All access to the subject property for the purposes of building the public improvements described within Compark Village South Filing 2 Sketch/Preliminary Plan will come from Peoria Street. Any access for the purposes of asbestos abatement and demolition of the existing structures on the subject property which is proposed to come from streets within Grandview Estates must receive approval from Douglas County, or utilize the same access from Peoria Street.
4. The landscape separation buffer represented by Tracts A, J and Q of Compark Village South Filing 2 will maintain a minimum fifteen-feet and an average of twenty-feet separation from the back of sidewalk along Belford Avenue.

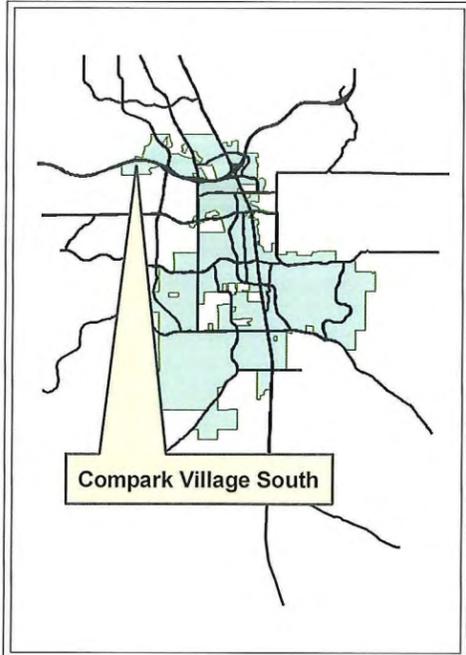
**Section VII.
Attachments:**

1. Vicinity Map
2. Referral Agency Comments
3. Compark Village South Filing 2 Sketch/Preliminary Plan
4. Compark Village South Filing 2 Master Landscape Plan

**Section VIII.
Proposed Motion:**

"I move the Planning Commission recommend Town Council approve the Compark Village South Filing 2 Sketch/Preliminary Plan subject to the Town's Land Development Ordinance and the four conditions of approval recommended in Staff's report."

Compark Village South Filing 2
 Public Hearings:
 Sketch/Preliminary Plan



Legend

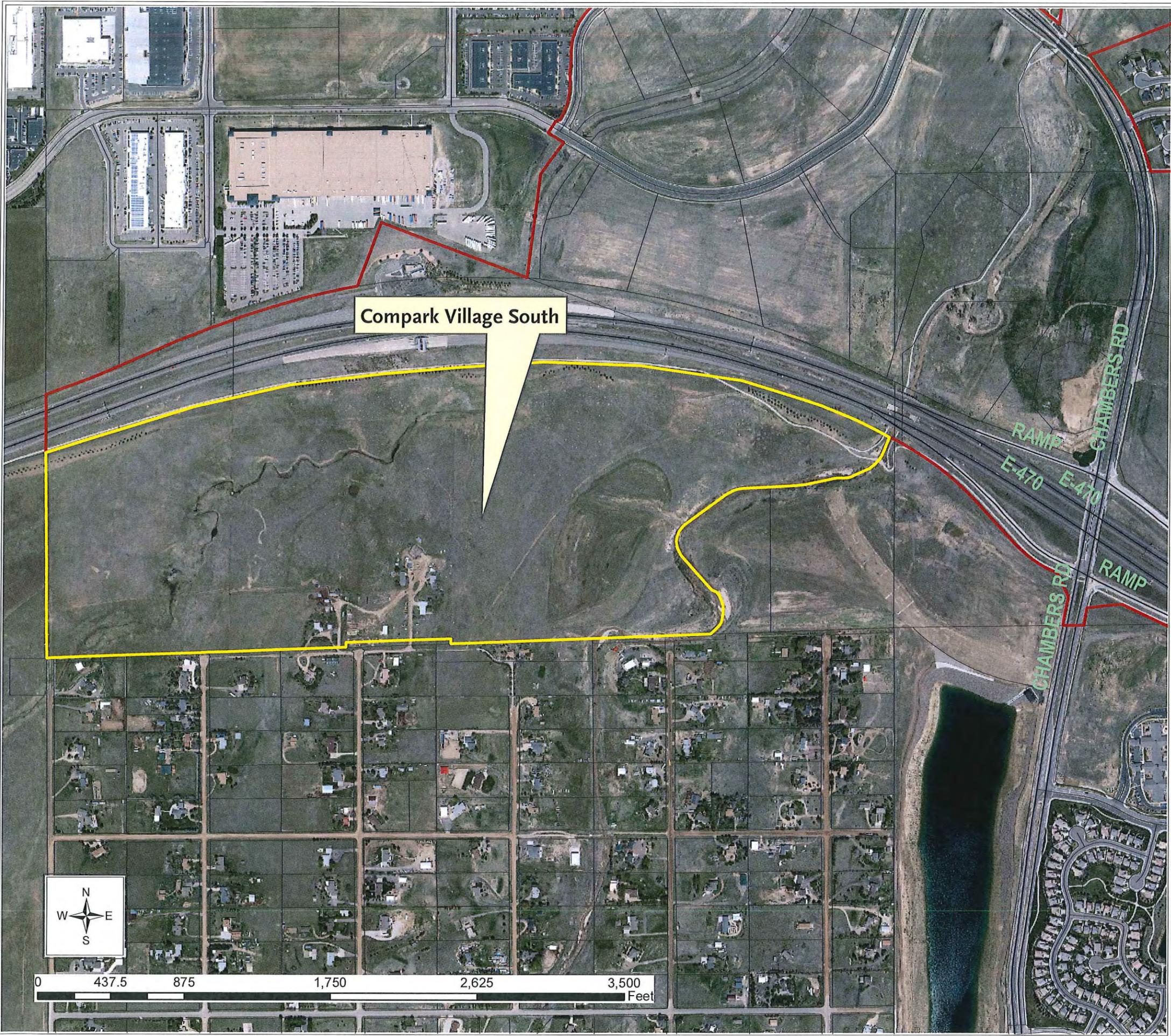
- Town Boundary
- Site
- Roads

Narrative:
 This is a sketch/preliminary plan request to subdivide 32.86 acres of land near the southerly boundary of Compark Village South into 72 single family lots and 110 duplex units.

Planner: Patrick Mulready
Hearing Schedules:

Planning Commission:
 August 25, 2016

Town Council:
 September 6, 2016



Compark Village South Filing 2 Sketch/Preliminary Plan
SUB16-002 and SUB16-003
Referral Agency Notes/Comments to Trakit

Kurt Patrick
CONSTRUCTION PLANS - ENVIRONMENTAL
8/1/2016 4:36:39 PM

1) Show Temporary Irrigation (TI) in all areas of permanent native vegetation.

Brooks Kaufman
IREA 15
7/28/2016 7:25:08 AM

The Association has reviewed the proposed sketch plan and preliminary plans. The Association is requesting additional easements be added to the plans. In addition provide either revised language to grant an easement within tract areas or add easements to the plans within those tract areas.

Chris Boyd
Douglas County Planning Services Division 15
7/14/2016 9:29:50 AM

All proposed street names shown on the exhibit for the Sketch/Preliminary Plan are denied by E911 as duplicates. Please submit other proposed street names for approval to use on the final plat. The street names can be proposed directly to me at 303-660-7411 or cboyd@douglas.co.us. Thanks, Chris Boyd, Douglas County Planning/Addressing Specialist.

Peggy Davenport
E-470 Public Highway Authority 15
7/20/2016 6:14:23 AM

E-470 is not responsible for sound mitigation. Town of Parker "E-470 Annexation Agreement"; 10 September 2012: 2.

Occupying space for utility work, access, and any construction within the E-470 right-of-way, property owned fee, Multi-Use Easement, and or other easements, will require an E-470 Construction or Access Permit.

Aaron Repp
Centennial Airport 15

July 26, 2016

7/26/2016 1:41:21 PM

Thank you for the opportunity to review the Compark Village South F2 Subdivision. We acknowledge the comments from Plan West. Due to the location of the proposed development and its close proximity to the Airport, the Arapahoe County Public Airport Authority continues to oppose this development. The proposed Subdivision lies approximately 5,620 feet from the nearest runway at Centennial Airport and within the Restricted Development Area (RDA). The site lies directly adjacent to the Approach Zone (AZ) of the Airport Influence Area (AIA). Based on the Airport's Land Use Guidelines, all new noise sensitive developments are prohibited within the RDA. Due to the proximity of the Airport the development will be subjected to numerous aircraft over flights at low altitudes and their associated effects. These effects include, but are not limited to: noise, smoke, dust, fumes and vibrations.

Please feel free to call me if you have any questions.



Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: 303.571.3306
Facsimile: 303. 571.3524
donna.l.george@xcelenergy.com

July 22, 2016

Town of Parker Community Development Department
20120 E. Mainstreet
Parker, CO 80138

Attn: Patrick Mulready

**Re: Compark Village South Filing No. 2 Sketch Plan and Preliminary Plan
Case #s SUB16-002 and SUB16-003**

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the sketch plan and preliminary plan documentation for **Compark Village South Filing No. 2** and acknowledges applicant's comments.

For future planning, PSCo that the following language or plat note be placed on the preliminary and final plats for the subdivision:

Six-foot (6') wide dry utility easements are hereby dedicated on private property adjacent to the front lot lines of each lot in the subdivision. These easements are dedicated to the Town of Parker for the benefit of the applicable utility providers for the installation, maintenance, and replacement of electric, gas, television, cable, and telecommunications facilities (Dry Utilities). Utility easements shall also be granted within any access easements and private streets in the subdivision. Permanent structures, improvements, objects, buildings, wells, water meters and other objects that may interfere with the utility facilities or use thereof (Interfering Objects) shall not be permitted within said utility easements and the utility providers, as grantees, may remove any Interfering Objects at no cost to such grantees, including, without limitation, vegetation. Public Service Company of Colorado (PSCo) and its successors reserve the right to require additional easements and to require the property owner to grant PSCo an easement on its standard form.

The sketch plan shows Filing No. "1" – shouldn't it be "2"?

As a safety precaution, PSCo would like to remind the developer to call the **Utility Notification Center** at 1-800-922-1987 to have all utilities located prior to any construction.

Should you have any questions with this referral response, please contact me at 303-571-3306.

Donna George
Contract Right of Way Referral Processor
Public Service Company of Colorado



CENTENNIAL AIRPORT
ARAPAHOE COUNTY PUBLIC AIRPORT AUTHORITY

7800 South Peoria Street, Unit G1
Englewood, Colorado 80112
main: 303.790.0598
fax: 303.790.2129
www.centennialairport.com

July 26, 2016

Mr. Patrick Mulready
Town of Parker, Colorado Community Development Department
20120 East Mainstreet
Parker, CO 80138

Re: SUB16-003; COMPARK VILLAGE SOUTH F2 PRELIMINARY

Dear Mr. Mulready,

Thank you for the opportunity to review the Compark Village South F2 Subdivision. We acknowledge the comments from Plan West. Due to the location of the proposed development and its close proximity to the Airport, the Arapahoe County Public Airport Authority continues to oppose this development. The proposed Subdivision lies approximately 5,620 feet from the nearest runway at Centennial Airport and within the Restricted Development Area (RDA). The site lies directly adjacent to the Approach Zone (AZ) of the Airport Influence Area (AIA). Based on the Airport's Land Use Guidelines, all new noise sensitive developments are prohibited within the RDA. Due to the proximity of the Airport the development will be subjected to numerous aircraft over flights at low altitudes and their associated effects. These effects include, but are not limited to: noise, smoke, dust, fumes and vibrations.

Please feel free to call me if you have any questions.

Sincerely,

Aaron Repp
Noise & Environmental Specialist

GRANDVIEW ESTATES HOMEOWNERS ASSOCIATION

August 1, 2016

Mr. Patrick Mulready, Senior Planner
Mr. Tom Williams, Director of Engineering
20130 East Mainstreet
Parker, Colorado 80138

Case Number: SUB16-002^[SEP]
Application Type: SUBDIVISION SKETCH PLAN^[SEP]
Application Name: Compark Village South F2 Sketch^[SEP]
Due Date: Monday, August 1, 2016^[SEP]

Dear Mr. Mulready and Mr. Williams,

Grandview Estates Homeowners Association (GEHA) has the following concerns related to the above-referenced minor development plat. GEHA states that the following standards below should be applied and have not been met.

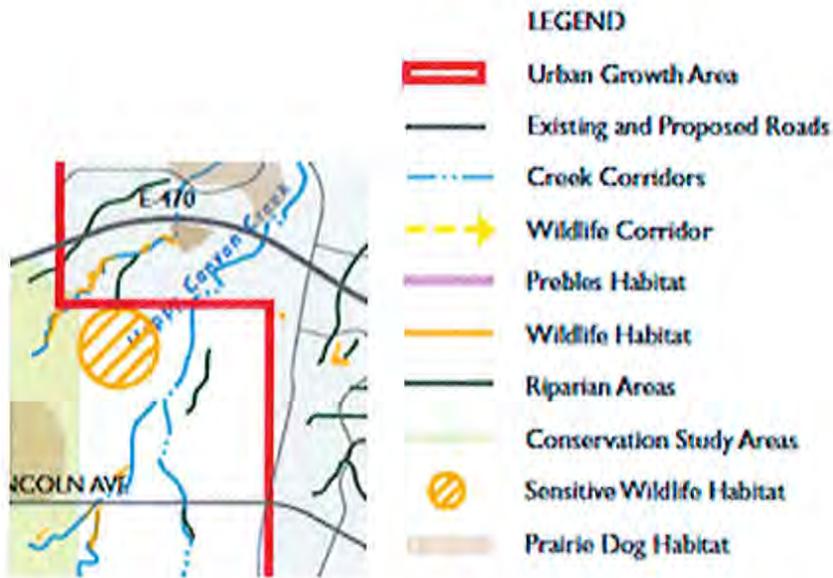
1. Riparian Resources and Environmentally Sensitive Areas.

The Town of Parker Land Development Code 13.07.060(d)(1) provides that a sketch plan must be consistent with the Master Plan. Under goals and strategies, the Master Plan Natural Resource Protection Section 12 requires preservation and protection of plants, animals and their associated ecosystems significant natural areas that provide habitat essential for the conservation of plants, animals, and their associated ecosystems. The section further requires preservation of riparian corridors and wetlands. Section 13.07.060(f) (10) requires delineation environmentally sensitive areas within 100' on the Sketch Plan Exhibit. 13.07.060(f) (19) requires depiction of all wildlife areas, including breeding grounds, nesting areas, crossings, wintering areas, migratory routes, and related matters. The Sketch Plan does not include this information.

GRANDVIEW ESTATES HOMEOWNERS ASSOCIATION

There is no mention in the application of how the Green Acres Tributary and Happy Canyon Creek will be preserved and protected as wildlife corridors and wetlands. The Master Plan identifies a particularly sensitive area in the northwest quadrant of Grandview Estates. Directly north, a dense housing area and major connector highway is contemplated for development by Compark South. A small open space is planned in the floodplain area. This is inadequate based upon the Master Plan criteria. See for reference Figure 1 page 2. The Code at 13.07.060 (f) (10) also requires delineation of all regulatory *one hundred-year floodplains* and floodways, all existing and proposed water courses, retention and detention areas, wetlands, known aquifer recharge areas, streams, lakes, inlets, storm sewers and culverts and *environmentally sensitive* areas on the affected property. Although the flood plain limits are indicated as dashed lines, there is no legend nor text identifying them. The environmentally sensitive area on the Master Plan is not considered in the application. Exhibit sheet 1 of 6, states: “NO WILDLIFE HABITAT AREAS HAVE BEEN IDENTIFIED ON THE SITE.” This is not consistent with the Master Plan.

Figure 1. Master Plan Identification of Sensitive Areas for the Project to Consider



2. Hazard Considerations.

Flood Plain and Steep Slopes. The Town of Parker Land Development Code 13.07.060(a)(1) and 13.07.060 (f)(16) requires identification of any hazards in the sketch plan for completed land use applications. This application by attachment Exhibit D states that there are no hazards. The master plan identifies the flood plain and slope hazards present, see Figures 2-5. Exhibit 5 of 6 shows that there are areas with steep slopes; however, there is no report as required in section 13.07.060 (g) (3).

GRANDVIEW ESTATES HOMEOWNERS ASSOCIATION

5. Open Space.

The Master Plan Goal states growth shall be appropriately directed and site-planned to sustain our community's needs as we grow. For this sketch plan, the Master Plan Strategy Section 4D would require increased open space using the criteria set forth in the OpenSpace, Trails and Greenways Master Plan which emphasize supporting a regional greenway network that provides a community separation buffer from development in neighboring jurisdictions while maintaining the viability and connectivity of the natural ecosystem. Table 1 shows the land use percentages, open space including parks is about 22%, close to the 20% recommend for the Minor Development Plan.

The Town of Parker Land Development Code 13.07.060 (g) (20) requires conceptual design of pedestrian and open space systems including connections to adjacent development and open space, please show connections to Grandview Estates through to

LAND USE SUMMARY TABLE

USAGE	AREA (S.F.)	ACREAGE	%
RESIDENTIAL LOTS	737,681	16.935	51.53%
PUBLIC RIGHTS-OF-WAY	317,549	7.290	22.18%
PUBLIC PARK	207,859	4.766	14.52%
DESIGNATED ALLEY WAY	62,101	1.426	4.34%
OPEN SPACE	106,369	2.442	7.43%
TOTAL	1,431,559	32.859	100%

the E-470 trail and Happy Canyon Creek.

Table 1. Sketch Plan Land Use Estimates

6. Vicinity Map.

The vicinity map has an error, it shows the rest of the project parcel zoned as A1, it is PD.

7. Easements

13.07.060(f) (8) requires depiction of all easements including existing, proposed, public or private on or adjacent to the proposed subdivision. There are rights of way along the boundary of Grandview Estates not depicted:

GRANDVIEW ESTATES HOMEOWNERS ASSOCIATION

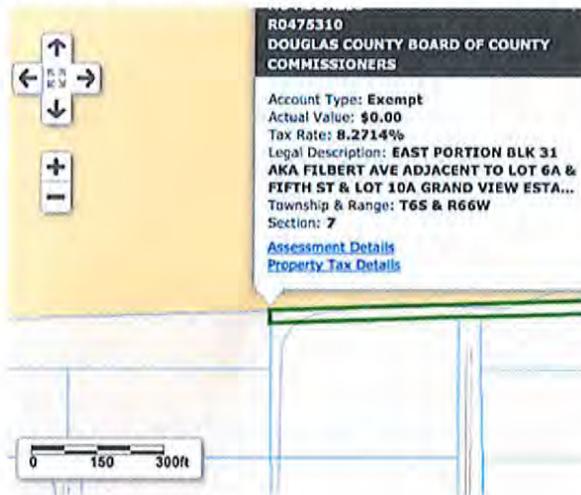
13. Right-of-Way and easement for ingress and egress and incidental purposes as reserved by Samuel H. Obrecht and Jessie A. Obrecht in Deed recorded January 17, 1969 in [Book 190 at Page 55](#).
14. Right-of-Way and easement for ingress and egress and incidental purposes as reserved by Samuel H. Obrecht and Jessie A. Obrecht in Deed recorded July 22, 1969 in [Book 195 at Page 301](#)

RIGHT-OF-WAY PARCEL DESCRIBED IN BOOK 195 AT PAGE 510 OF THE RECORDS OF THE DOUGLAS COUNTY CLERK AND RECORDER

The creek bed is suitable for equestrian use and the right of way should be labeled.

54. Rights of Way for Happy Canyon Creek Traversing subject Property.

These easements must be identified on the Sketch Plan Exhibit,



The rights of way for the original property owners of the Stone House (Kaiser Ranch) are not shown, see Figure 3, from deed exceptions (13, 14 and 54) should be shown on the sketch Plan Exhibit.

Figure 3. Un-Labeled Remnants of Block 31 by 5th Street.

8. Sanitation.

The Town of Parker Development Code 13.07.060 (g) (6) requires evidence of the physical and legal capability to provide sanitation. For a subdivision of land located within a sanitation district, a letter of commitment to serve the proposed subdivision stating the capacity to serve and feasibility of extending service to that area. There is no letter of commitment included in the present application.

9. Water.

The Town of Parker Development Code 13.07.090 (g) (5) requires evidence that an adequate water supply, sufficient in terms of quality and quantity, is available. For a subdivision of land located within a water district, a letter of commitment to serve the proposed subdivision stating the amount of water available for use within the subdivision and the feasibility of extending service to that area. There is no such letter included in the present application.

GRANDVIEW ESTATES HOMEOWNERS ASSOCIATION

10. Geological Characteristics

The Town of Parker Development Code 13.07.060 (g) (3) requires a site geological report which is missing,

11. Conceptual Drainage Report

The Town of Parker Development Code 13.07.060 (g) (4) requires the following aspects to be covered, which are not, as previously discussed:

- legal ability to obtain water and sanitation
- location of geologic hazards
- identification of environmentally sensitive areas,
- wildlife habitat areas

12. Availability of Services

The Town of Parker Development Code 13.07.060 (g) (7) requires a narrative about the availability and adequacy of services

- Fire
- Police
- Schools
- Recreation
- Utilities
- Open Space
- Etc.

Narrative is not included

13. Proposal Narrative

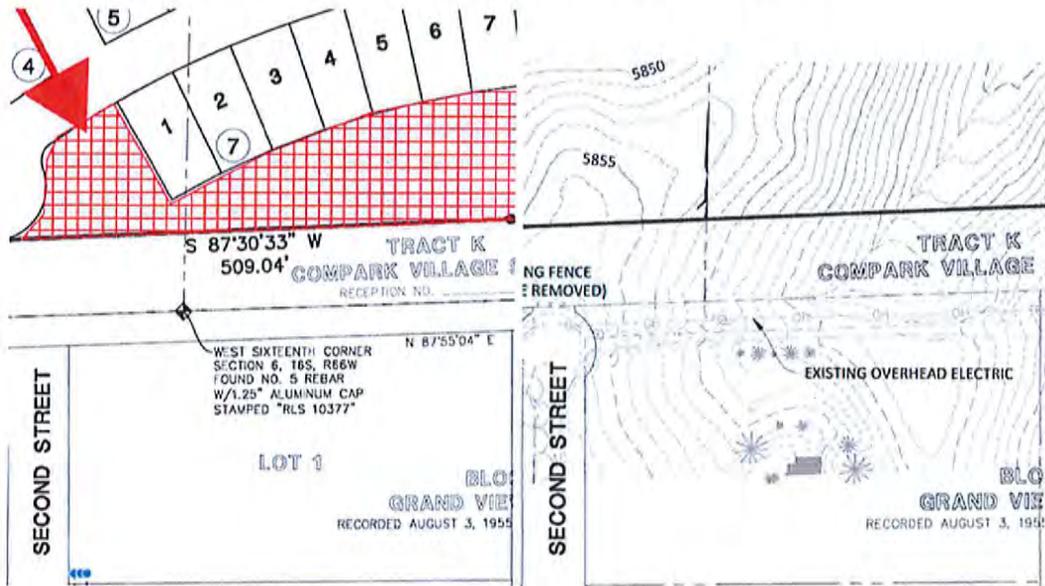
Improperly identifies Grandview Estates Zoning as Rural Residential instead of Estate Residential, Omnivest and Airport 320 are zoned PD, North is Compark PD.

14. Viewshed

The Town of Parker Development Code 13.07.060 (g) (17) requires a discussion of the views which is missing. They provided a redline that has raised a concern, headlights from Bald Eagle Street are directed at the house on Second Street, see Figure 4. A berm should be added to mitigate the issue, since the view is meant to be of the Park and not Grandview Estates.

GRANDVIEW ESTATES HOMEOWNERS ASSOCIATION

Figure 4. Alignment of Bald Eagle Street with home on Second Street.



Sincerely,

Shannon Rasmussen
President GEHA
RasmussenInfo@gmail.com
720-272-1253

The Grandview Estates Rural Water Conservation District

12460 North Third Street, P.O. Box 4292, Parker CO 80134, (303) 805-1690 Phone, (303) 805-2340 Fax
"Working to Preserve Water Resources for Future Generations"

August 1, 2016

Mr. Patrick Mulready, Senior Planner
Mr. Tom Williams, Director of Engineering
20130 East Mainstreet
Parker, Colorado 80138

Grandview Estates Rural Water Conservation District 15,
Case Number: SUB16-003
Application Type: SUBDIVISION PRELIMINARY PLAN
Application Name: Compark Village South F2 Preliminary
Due Date: Monday, August 1, 2016

Dear Mr. Mulready and Mr. Williams,

Grandview Estates Rural Water Conservation District (GERWCD) has the following concerns related to the above-referenced Preliminary Plan. GERWCD states that the following standards below should be applied and have not been met.

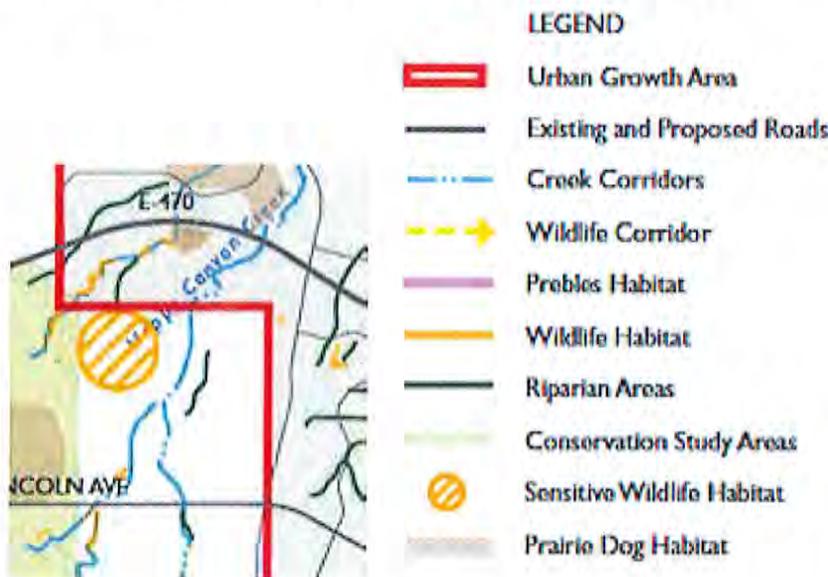
1. Riparian Resources and Environmentally Sensitive Areas.

The Town of Parker Land Development Code 13.07.070(d)(1) provides that a Preliminary Plan must be consistent with the Master Plan. Under goals and strategies, the Master Plan Natural Resource Protection Section 12 requires preservation and protection of plants, animals and their associated ecosystems significant natural areas that provide habitat essential for the conservation of plants, animals, and their associated ecosystems. The section further requires preservation of riparian corridors and wetlands. Section 13.07.070(f) (10) requires delineation environmentally sensitive areas within 100' on the Preliminary Plan Exhibit. 13.07.070(f) (19) requires depiction of all wildlife areas, including breeding grounds, nesting areas, crossings, wintering areas, migratory routes, and related matters. The Preliminary Plan does not include this information.

There is no mention in the application of how the Grandview Tributary and Happy Canyon Creek will be preserved and protected as wildlife corridors and wetlands. The Master Plan identifies a particularly sensitive area in the northwest quadrant of

Grandview Estates. Directly north, a dense housing area and major connector highway is contemplated for development by Compark. A small open space is planned in the floodplain area. This is inadequate based upon the Master Plan criteria. See for reference Figure 1 page 2. The Code at 13.07.070 (f) (10) also requires delineation of all regulatory *one hundred-year floodplains* and floodways, all existing and proposed water courses, retention and detention areas, wetlands, known aquifer recharge areas, streams, lakes, inlets, storm sewers and culverts and *environmentally sensitive areas* on the affected property. Although the flood plain limits are indicated as dashed lines, there is no legend nor text identifying them. The environmentally sensitive area on the Master Plan is not considered in the application. Exhibit sheet 1 of 6, states: “NO WILDLIFE HABITAT AREAS HAVE BEEN IDENTIFIED ON THE SITE.”

Figure 1. Master Plan Identification of Sensitive Areas for the Project to Consider



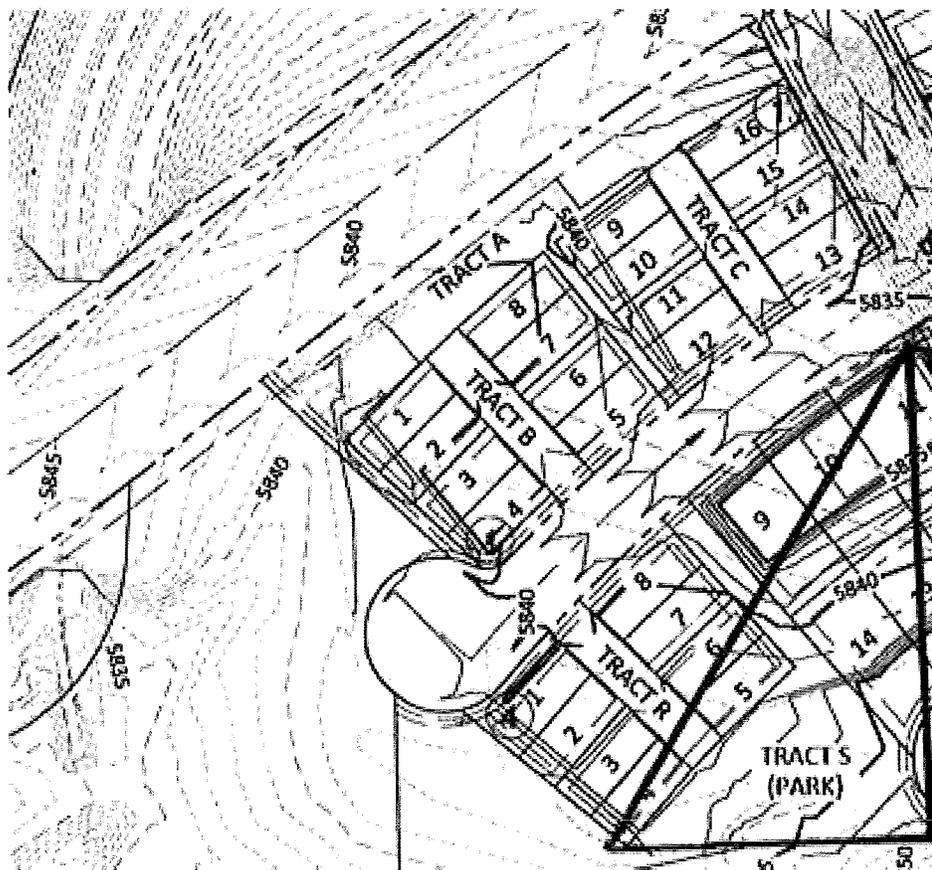
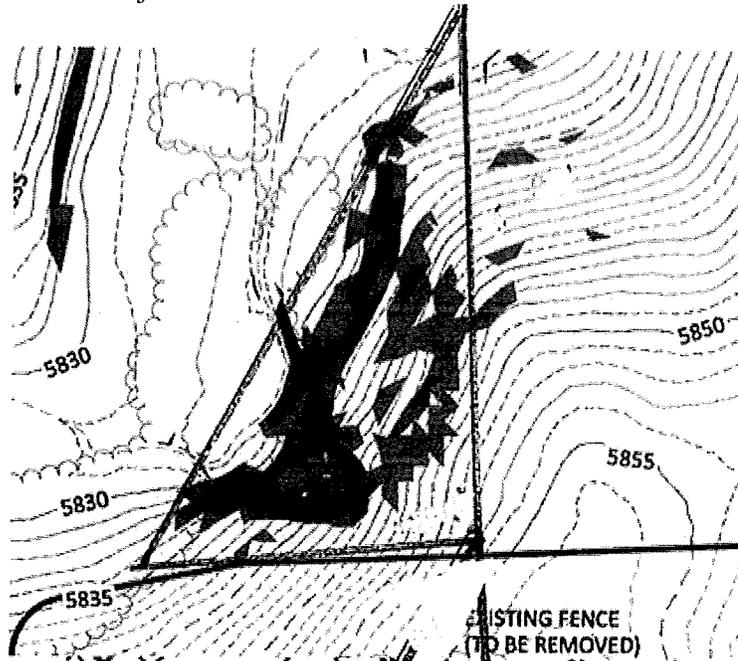
2. Hazard Considerations (Steep Slopes, Flood Plain).

Steep Slopes. The Town of Parker Land Development Code 13.10.100(a)(1) restricts hillside development in areas with slopes greater than 15 %. This restriction should apply to the approximately 4 acres starting with near the fence line with Grandview Estates in the vicinity of proposed lots 4, 5, 6, 9, 10, 11, 13 and 14 as show in Figure 2. The triangle represents the nominal four-acre hillside location.

Section 13.10.100 (a) states:

“This Section's prohibition of development on lands with steep slopes of twenty percent (20%) or greater, and its limits on development on lands with steep slopes less than twenty percent (20%), are intended to reasonably implement the...Master Plan policies.”

Figure 2. Existing Steep Slopes and Proposed Park and Residential Development on Hillside Adjacent to Grandview Estates



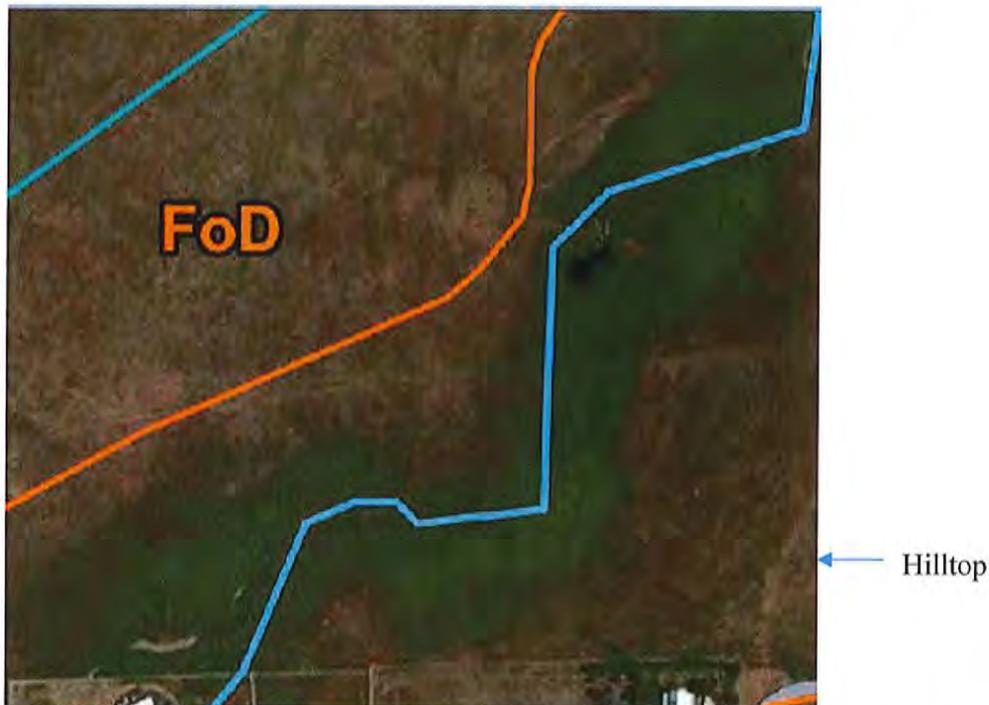
(1) "...this Section shall apply to any development or subdivision proposal for hillside properties that contain any slopes fifteen percent (15%) or greater ("hillside areas"), or where adverse

conditions associated with slope stability, erosion or sedimentation are present as determined by the Town.”

GERWCD recommends that this hillside area be left in the natural state as shown in Figure 2(b). The following description of the soil applies to the hillside:

- **Newlin Gravelly Sandy Loam (NeE 8 to 30% slopes)** This rolling to steep sloping soil is located on uplands and terrace side slopes. Runoff is medium and erosion hazard is slight to moderate. This soil is classified as a Type B Hydrologic Soil Group.

Figure 3. Hillside Area Proposed for Development in Green Acres Tributary



There is an excellent view of the Front range from the top of the hillside into the wetlands area of the Grandview Tributary. Plans indicate that this hillside and drainage would be filled and rerouted to the other side of Belford Avenue, resulting in a steeper man-made slope as can be seen in Figure 4.

The Master Plan supports retaining the hillside:

“Goals and Strategies

2. Locate development in areas free of environmental hazards and constraints.
- 2.B. Continue to prohibit development on slopes of 20% or greater and limit development on slopes of 15% or greater”

3. Existing Structures.

The Town of Parker Land Development Code 13.07.070(f) (15) requires that all existing structures be identified in the Preliminary Plan, their uses and the fact that they planned to be demolished. Figure 5 shows an aerial photograph of the existing structures from the Drainage Report. There are four existing abandoned or occupied homes on the property, and one large steel shop building, which will require demolition, even though the Exhibit sheet 1 of 6 states: "NO EXISTING STRUCTURES ON SITE WERE LOCATED ON THE SITE". Asbestos mitigation, and septic and well closure must occur for these old homes. These homes are situated close to the southern section line of the property, within 200 feet of a Grandview home, 300 feet of another, and also possibly affecting the historic Stone House (Kaiser Ranch) which sits just south of the northern boundary of Grandview. GERWCD has been informed of plans to take demolition traffic and detritus through private property and through Grandview dirt and paved roads to Lincoln. Review of the Block 31 vacation in 2007 verified that the entry into the two driveways to the north through the cul-de-sacs was identified as the Filbert Avenue Temporary Easement. There is no mention of this demolition, or the cost, in the application. Since this demolition will occur as part of the applicant's project, GERWCD objects to any demolition traffic through Grandview and requests that the demolition take place after the completion of Belford Ave., in compliance with the service plan between Town of Parker and Douglas County that construction traffic will enter by way of newly constructed Belford Avenue from Peoria.

Figure 5. Existing Structures on the Development Site.



3. Historical and Archaeological Sites. The Town of Parker Land Development Code 13.07.070(f)10 requires identification of all environmentally sensitive areas, which should include historical and archaeological sites in the Preliminary Plan. Preliminary Landscape Plan Exhibit Sheet L1 of L9 of this site plan application states that: NO HISTORICAL OR ACHEOLOGICAL FEATURES HAVE BEEN IDENTIFIED. The Parker Historical Society has already identified the Kaiser Ranch Stone House as a historical site, and filed its concerns in the subplat application: that heavy machinery, dust, and earth disturbances may well damage the historic home. Proper care must be taken to preserve this historical site.

4. Open Space.

The Master Plan Goal states growth shall be appropriately directed and site-planned to sustain our community's needs as we grow. For this Preliminary plan, the Master Plan Strategy Section 4D requires open space using the criteria set forth in the OpenSpace, Trails and Greenways Master Plan which emphasize supporting a regional greenway network that provides a community separation buffer from development in neighboring jurisdictions while maintaining the viability and connectivity of the natural ecosystem. Table 1 shows the land use percentages, open space including parks is about 22%, close to the 20% recommend for the Minor Development Plan. Increasing the size of the park in Track S with the three acres of hillside as recommended by GERWCD should further increase the proportion of open space and park to 28% slightly exceeding the Parker Master Plan average.

The Town of Parker Land Development Code 13.07.070 (g) (6) requires a Park Facilities Master Plan that describes location size and amenities. This must be provided.

5. Preliminary Plan Exhibit Sheet Format

Table 1. Preliminary Plan Land Use Estimates

LAND USE SUMMARY TABLE

USAGE	AREA (S.F.)	ACREAGE	%
RESIDENTIAL LOTS	737,681	16.935	51.53%
PUBLIC RIGHTS-OF-WAY	317,549	7.290	22.18%
PUBLIC PARK	207,859	4.766	14.52%
DESIGNATED ALLEY WAY	62,101	1.426	4.34%
OPEN SPACE	106,369	2.442	7.43%
TOTAL	1,431,559	32.859	100%

The format of the Preliminary Plan Exhibit is incorrect, the scale and North arrow should be in the lower right hand corner as well as the name and address of the applicant

6. Preliminary Plan Exhibit Vicinity Map.

The vicinity map is inadequate, it shows Grandview Estates, but there is no key to the other numbered sections surrounding the site.

7. Preliminary Plan Exhibit Easements

13.07.070(f) (8) requires depiction of all easements including existing, proposed, public or private on or adjacent to the proposed subdivision with their use, principle dimensions, the owner or right holder, recorded book and page number, name of entity responsible for construction and maintenance. Easement identification and descriptions are inadequate. Many omit the following information:

- use
- the owner or right holder,
- recorded book and page number,
- name of entity responsible for construction
- name of entity responsible for maintenance

8. Sanitation.

The Town of Parker Development Code 13.07.070 (g) (6) requires evidence of the physical and legal capability to provide sanitation. For a subdivision of land located within a sanitation district, a letter of commitment to serve the proposed subdivision stating the capacity to serve and feasibility of extending service to that area. There is no letter of commitment included in the present application.

9. Water.

The Town of Parker Development Code 13.07.090 (g) (5) requires evidence that an adequate water supply, sufficient in terms of quality and quantity, is available. For a subdivision of land located within a water district, a letter of commitment to serve the proposed subdivision stating the amount of water available for use within the subdivision and the feasibility of extending service to that area. There is no will serve letter included in the present application

10. Geological Characteristics

The Town of Parker Development Code 13.07.070 (g) (3) requires a site geological report which is missing,

11. Conceptual Drainage Report

The Town of Parker Development Code 13.07.070 (g) (4) requires the following aspects to be covered, which are not, as previously discussed:

- legal ability to obtain water and sanitation,
- location of geologic hazards,
- identification of environmentally sensitive areas and
- wildlife habitat areas,

12. Availability of Services

The Town of Parker Development Code 13.07.070 (g) (7) requires a narrative about the availability and adequacy of services

- Fire
- Police
- Schools
- Recreation
- Utilities
- Open Space
- Etc.

Narrative is not included

13. Proposal Narrative

Improperly identifies Grandview Estates Zoning as Rural Residential instead of Estate Residential, Omnivest and Airport 320 are zoned PD, North is Compark PD.

14. View shed

The Town of Parker Development Code 13.07.070 (g) (17) requires a discussion of the views which is missing. They provided a redline that has raised a concern, headlights from Bald Eagle Street tar directed at the house on Second Street, see Figure 3. A berm should be added to mitigate the issue, since the view is meant to be of the Park and not Grandview Estates.

Sincerely yours,



Charles H. Bucknam

Secretary

Grandview Estates Rural Water Conservation District

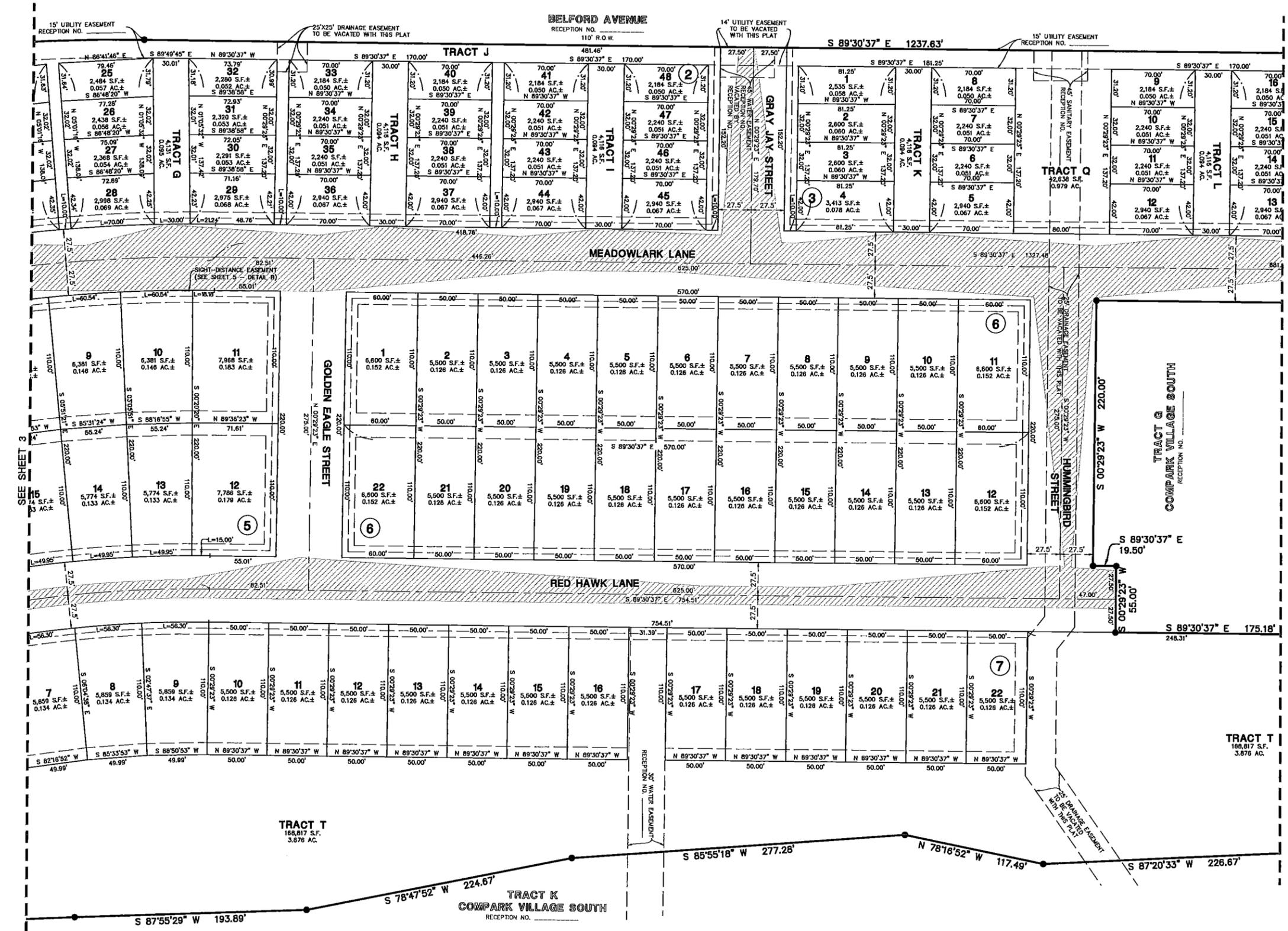
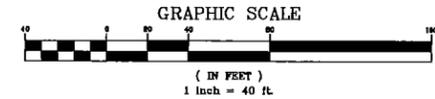
A State of Colorado Water Conservancy District

COMPARK VILLAGE SOUTH FILING NO. 2

SKETCH / PRELIMINARY PLAN

PLANNING AREAS 17 & 18 (COMPARK VILLAGE PD - FOURTH AMENDMENT)

A REPLAT OF PART OF TRACT H, COMPARK VILLAGE SOUTH FILING NO. 1
 LOCATED IN THE SOUTH HALF OF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO.
 192 LOTS, 20 TRACTS, 32.872 ACRES



- LEGEND**
- EX. BOUNDARY LINE
 - - - EX. SECTION LINE
 - - - EX. LOT LINE
 - - - EX. EASEMENT LINE
 - - - PR. ROW LINE
 - - - PR. EASEMENT LINE
 - ◆ FOUND SECTION CORNER AS NOTED
 - SET NO. 5 REBAR WITH 1.25" Y.P.C. PLUS 38445 FLUSH WITH GROUND
 - ⊕ BLOCK NUMBER
 - ▨ SIGHT DISTANCE
 - ▨ TRIANGLE / EASEMENT
 - 0.00 BOUNDARY DIMENSION
 - 0.00 LOT DIMENSION
 - U.E. UTILITY EASEMENT HEREBY GRANTED

Manhard CONSULTING

2008 & 2009: Licensed Professional Engineer, No. 100010001, State of Colorado
 Civil Engineers • Surveyors • Water Resources Engineers • Wetland & Watershed Engineers
 Construction Managers • Environmental Scientists • Landscape Architects • Planners

DATE: 08/09/18
 DRAWN BY: BIP
 CHECKED BY: COP
 DATE: 07/09/18
 SCALE: 1" = 40'

COMPARK VILLAGE SOUTH FILING NO. 2
 TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO
 SKETCH / PRELIMINARY PLAN

PROJ. NO.: 1818
 PROJ. ASSOC.: BIP
 DRAWN BY: COP
 DATE: 07/11/18
 SCALE: 1" = 40'

SHEET
4 OF **5**
 00C.LCPKC3.05

August 8, 2018 - 14:01 - Proj Name: P:\Client\ComparkSouth\Drawings\1818\1818-00C.LCPKC3.05-Prep.dwg - Updated By: cpwskel

COMPARK VILLAGE SOUTH FILING NO. 2

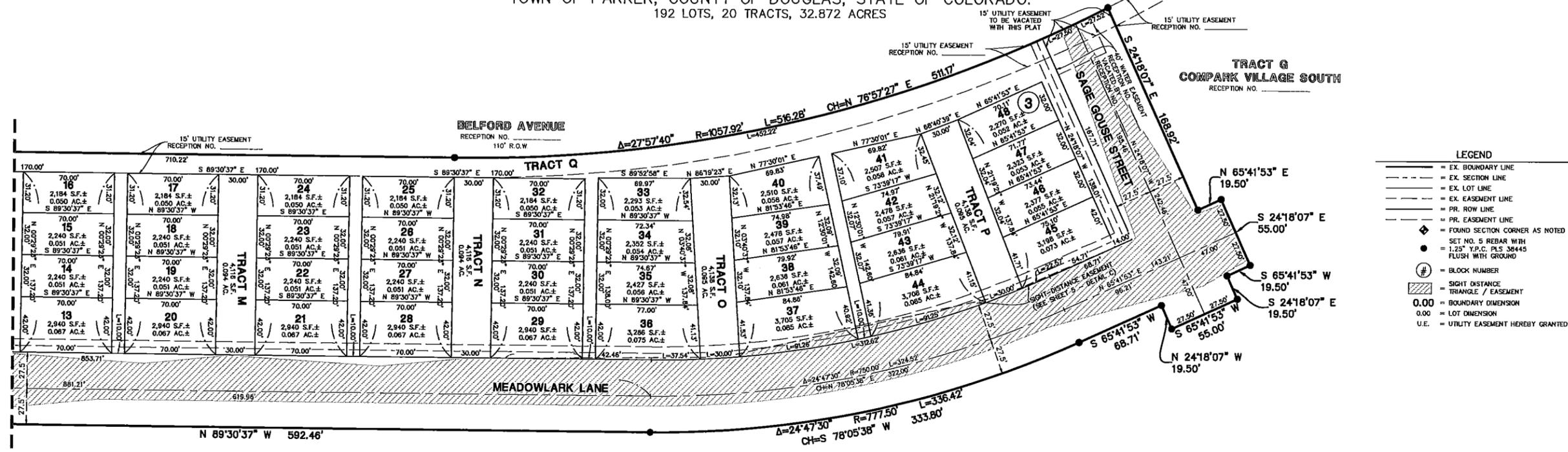
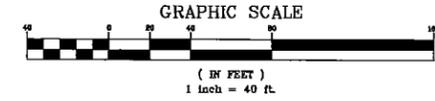
SKETCH / PRELIMINARY PLAN

PLANNING AREAS 17 & 18 (COMPARK VILLAGE PD - FOURTH AMENDMENT)

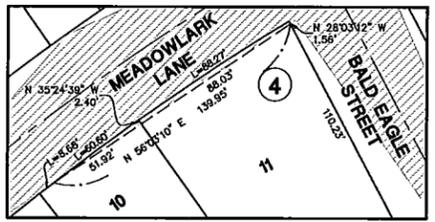
A REPLAT OF PART OF TRACT H, COMPARK VILLAGE SOUTH FILING NO. 1

LOCATED IN THE SOUTH HALF OF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO.

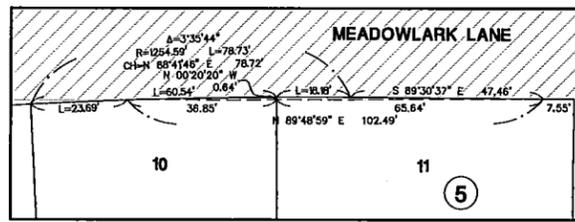
192 LOTS, 20 TRACTS, 32.872 ACRES



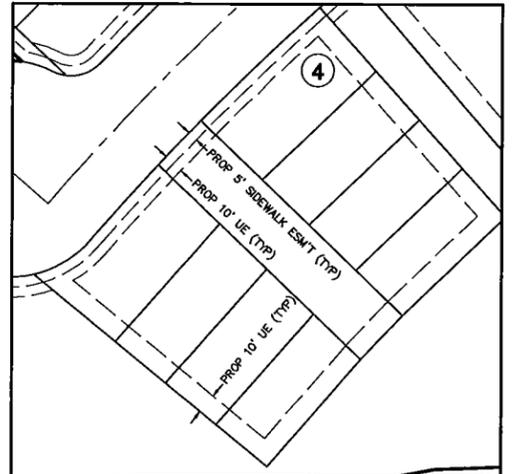
- LEGEND**
- EX. BOUNDARY LINE
 - - - EX. SECTION LINE
 - · - · EX. LOT LINE
 - · - · EX. EASEMENT LINE
 - · - · PR. ROW LINE
 - · - · PR. EASEMENT LINE
 - ◆ FOUND SECTION CORNER AS NOTED
 - SET NO. 5 REBAR WITH 1.25" Y.P.C. PLS 38445 FLUSH WITH GROUND
 - ⊙ BLOCK NUMBER
 - ▨ SIGHT DISTANCE
 - △ TRIANGLE / EASEMENT
 - 0.00 BOUNDARY DIMENSION
 - 0.00 LOT DIMENSION
 - U.E. UTILITY EASEMENT HEREBY GRANTED



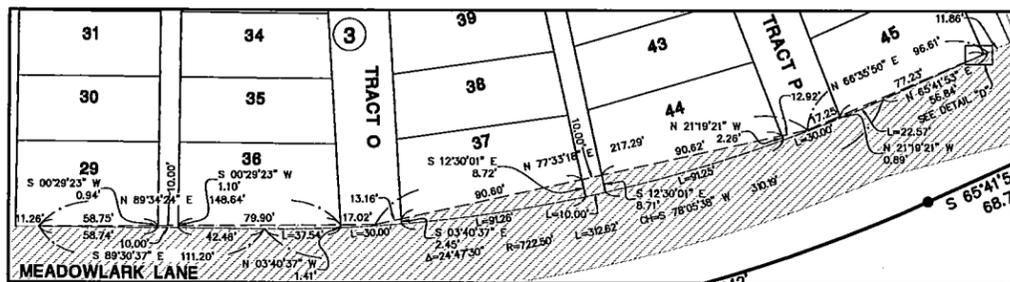
DETAIL "A"
1"=40'



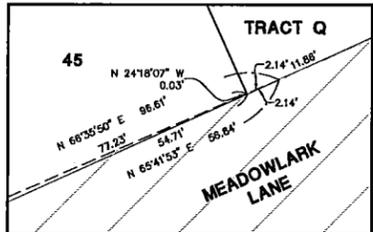
DETAIL "B"
1"=20'



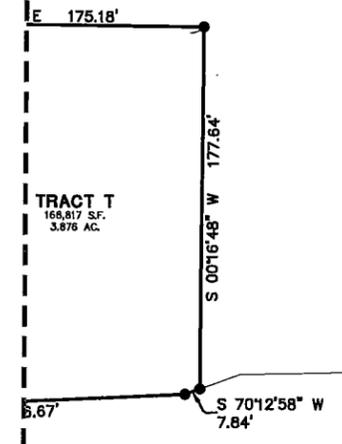
TYPICAL EASEMENT DETAIL
1"=40'



DETAIL "C"
1"=40'



DETAIL "D"
1"=5'



TRACT T
166,817 S.F.
3.876 AC.

DATE	REVISION	BY	CHK	APP
08/09/16	1	MANHARD	MANHARD	MANHARD
07/09/16	2	MANHARD	MANHARD	MANHARD

Manhard CONSULTING

Professional Engineers, Surveyors, Environmental Scientists, Landscape Architects, Planners

1600 S. University Blvd., Suite 100, Aurora, CO 80012
 1600 S. University Blvd., Suite 100, Denver, CO 80202
 1600 S. University Blvd., Suite 100, Fort Collins, CO 80521
 1600 S. University Blvd., Suite 100, Greeley, CO 80639
 1600 S. University Blvd., Suite 100, Loveland, CO 80538
 1600 S. University Blvd., Suite 100, Westminster, CO 80030

COMPARK VILLAGE SOUTH FILING NO. 2
TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO
SKETCH / PRELIMINARY PLAN

PROJ. NO.: 1600
 PROJ. ASSOC.: BIP
 DRAWN BY: GJP
 DATE: 01/11/16
 SCALE: 1"=40'

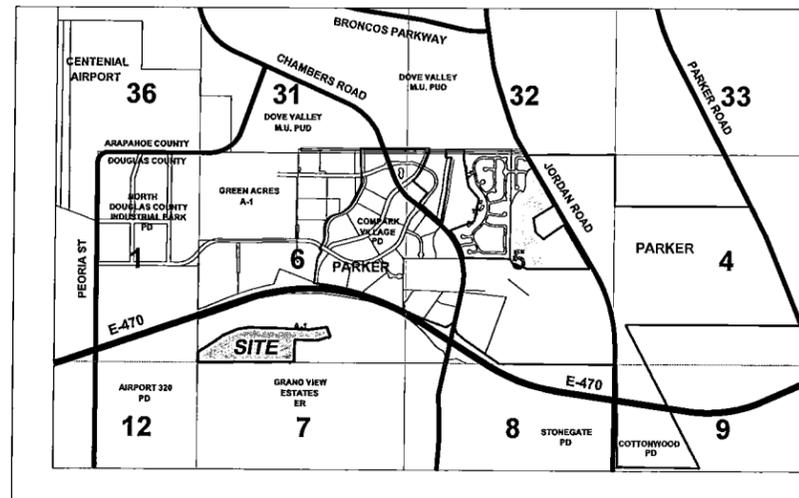
SHEET
5 OF **5**
00C.LCPKC3.05

August 8, 2016 - 14:07 Des: Name: p:\clients\compark\02-residential\preliminary\plan\manhard\02c.lcpkc3.05-pr-ave.dwg, Updated By: gburdett

COMPARK VILLAGE SOUTH FILING NO. 2 PRELIMINARY PLAN

A PARCEL OF LAND LOCATED IN THE SOUTH HALF OF SECTION 6, TOWNSHIP 6 SOUTH RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
PLANNING AREA 17 & 18
32.86 ACRES, 190 RESIDENTIAL UNITS, 20 TRACTS

Vicinity Map



Scale: 1" = 2,000'

SITE DATA:

LOCATION: SOUTHWEST OF INTERSECTION OF S. CHAMBERS ROAD AND E-470;
PA-17 AND 18 IN THE COMPARK VILLAGE PD FIFTH AMENDMENT

AREA: 32.859 ACRES

ZONING:

PLANNED DEVELOPMENT

NOTES:

1. NO EXISTING STRUCTURES ON SITE WERE LOCATED ON THE SITE
2. NO HISTORICAL OR ARCHAEOLOGICAL FEATURES HAVE BEEN IDENTIFIED ON THE SITE
3. NO WILDLIFE HABITAT AREAS HAVE BEEN IDENTIFIED ON THE SITE

COMPARK SOUTH - LEGAL DESCRIPTION

TRACT H, COMPARK VILLAGE SOUTH ALTA DESCRIPTION
PART OF LOTS 21, 22, AND 23, GREEN ACRES SUBDIVISION RECORDED IN BOOK 1152 AT PAGE 883, AT RECEPTION NO. 105760 OF THE RECORDS OF THE DOUGLAS COUNTY CLERK AND RECORDER TOGETHER WITH PART OF THE SOUTH HALF OF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 6 AND CONSIDERING THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 6 TO BEAR NORTH 00°30'14" WEST, AND MONUMENTED AS SHOWN HEREON, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO;

THENCE NORTH 87°55'04" EAST, ALONG THE SOUTH LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 6, A DISTANCE OF 487.85 FEET TO THE POINT OF BEGINNING;

THENCE NORTH 01°13'58" WEST, A DISTANCE OF 190.72 FEET;
THENCE NORTH 49°15'47" WEST, A DISTANCE OF 3.50 FEET TO A POINT OF CURVATURE;

THENCE ALONG THE ARC OF A TANGENT CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 148°02'43", A RADIUS OF 52.00 FEET, AN ARC LENGTH OF 134.36 FEET, THE CHORD OF WHICH BEARS NORTH 24°45'34" EAST, A DISTANCE OF 99.98 FEET TO A NON-TANGENT LINE;

THENCE NORTH 46°57'03" WEST, A DISTANCE OF 180.84 FEET;
THENCE NORTH 52°39'42" EAST, A DISTANCE OF 226.57 FEET TO A POINT OF CURVATURE;

THENCE ALONG THE ARC OF A TANGENT CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 37°49'41", A RADIUS OF 1,445.00 FEET, AN ARC LENGTH OF 954.03 FEET, THE CHORD OF WHICH BEARS NORTH 71°34'32" EAST, A DISTANCE OF 936.79 FEET TO A POINT OF TANGENCY;

THENCE SOUTH 89°30'37" EAST, A DISTANCE OF 1,237.63 FEET TO A POINT OF CURVATURE;

THENCE ALONG THE ARC OF A TANGENT CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 26°11'10", A RADIUS OF 1,130.00 FEET, AN ARC LENGTH OF 516.45 FEET, THE CHORD OF WHICH BEARS NORTH 77°23'48" EAST, A DISTANCE OF 511.96 FEET TO A NON-TANGENT LINE;

THENCE SOUTH 24°18'07" EAST, A DISTANCE OF 164.92 FEET;
THENCE NORTH 65°41'53" EAST, A DISTANCE OF 19.50 FEET;
THENCE SOUTH 24°18'07" EAST, A DISTANCE OF 55.00 FEET;
THENCE SOUTH 65°41'53" WEST, A DISTANCE OF 19.50 FEET;
THENCE SOUTH 24°18'07" EAST, A DISTANCE OF 19.50 FEET;
THENCE SOUTH 65°41'53" WEST, A DISTANCE OF 55.00 FEET;
THENCE NORTH 24°18'07" WEST, A DISTANCE OF 19.50 FEET;
THENCE SOUTH 65°41'53" WEST, A DISTANCE OF 68.71 FEET TO A POINT OF CURVATURE;

THENCE ALONG THE ARC OF A TANGENT CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 24°47'30", A RADIUS OF 777.50 FEET, AN ARC LENGTH OF 336.42 FEET, THE CHORD OF WHICH BEARS SOUTH 78°05'38" WEST, A DISTANCE OF 333.80 FEET TO A POINT OF TANGENCY;

THENCE NORTH 89°30'37" WEST, A DISTANCE OF 592.46 FEET;
THENCE SOUTH 00°29'23" WEST, A DISTANCE OF 220.00 FEET;
THENCE SOUTH 89°30'37" EAST, A DISTANCE OF 19.50 FEET;
THENCE SOUTH 00°29'23" WEST, A DISTANCE OF 55.00 FEET;
THENCE SOUTH 89°30'37" EAST, A DISTANCE OF 175.18 FEET;
THENCE SOUTH 00°16'48" WEST, A DISTANCE OF 177.84 FEET;
THENCE SOUTH 70°12'58" WEST, A DISTANCE OF 7.84 FEET;
THENCE SOUTH 87°20'33" WEST, A DISTANCE OF 226.67 FEET;
THENCE NORTH 78°16'52" WEST, A DISTANCE OF 117.49 FEET;
THENCE SOUTH 85°55'18" WEST, A DISTANCE OF 277.28 FEET;
THENCE SOUTH 78°47'52" WEST, A DISTANCE OF 224.67 FEET;
THENCE SOUTH 87°59'29" WEST, A DISTANCE OF 193.89 FEET;
THENCE SOUTH 87°30'33" WEST, A DISTANCE OF 509.04 FEET;
THENCE SOUTH 87°51'03" WEST, A DISTANCE OF 172.31 FEET;
THENCE SOUTH 78°58'28" WEST, A DISTANCE OF 123.15 FEET TO A POINT OF CURVATURE;

THENCE ALONG THE ARC OF A TANGENT CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 81°03'24", A RADIUS OF 40.00 FEET, AN ARC LENGTH OF 56.59 FEET, THE CHORD OF WHICH BEARS SOUTH 38°26'46" WEST, A DISTANCE OF 51.99 FEET TO A POINT OF TANGENCY;

THENCE SOUTH 02°04'56" EAST, A DISTANCE OF 16.72 FEET TO SAID SOUTH LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 6;

THENCE SOUTH 87°55'04" WEST, A DISTANCE OF 86.41 FEET ALONG SAID SOUTH LINE TO THE POINT OF BEGINNING.

CONTAINING A CALCULATED AREA OF 1,431,559 SQUARE FEET OR 32.8641 ACRES, MORE OR LESS.

SHEET INDEX:

L1	COVER SHEET
L2	PRELIMINARY LANDSCAPE PLAN
L3	PRELIMINARY LANDSCAPE PLAN
L4	PRELIMINARY LANDSCAPE PLAN
L5	MUSE LANDSCAPE TEMPLATE
L6	MUSE LANDSCAPE TEMPLATE
L7	LANDSCAPE SCHEDULE AND NOTES
L8	LANDSCAPE DETAILS
L9	LANDSCAPE DETAILS
L10	FENCING PLAN
L11	FENCING PLAN
L12	FENCING DETAILS
L13	LANDSCAPE SECTIONS

COMPARK VILLAGE SOUTH FILING NO. 2 PRELIMINARY PLAN - COVER SHEET

OWNER

470 Compark, LLC
290 Fillmore St., Suite 2
Denver, CO 80206

LANDSCAPE ARCHITECT

Plan West, Inc.
767 Santa Fe Drive
Denver, CO 80204
(303) 741-1411

Town of Parker
Colorado

job no. 201520
date 1-12-2016
revisions 7-12-2016
8-09-2016

ENGINEER

Manhard Consulting
8006 E. Arapahoe Ct. Suite 110
Centennial 80112
(303) 531-3213

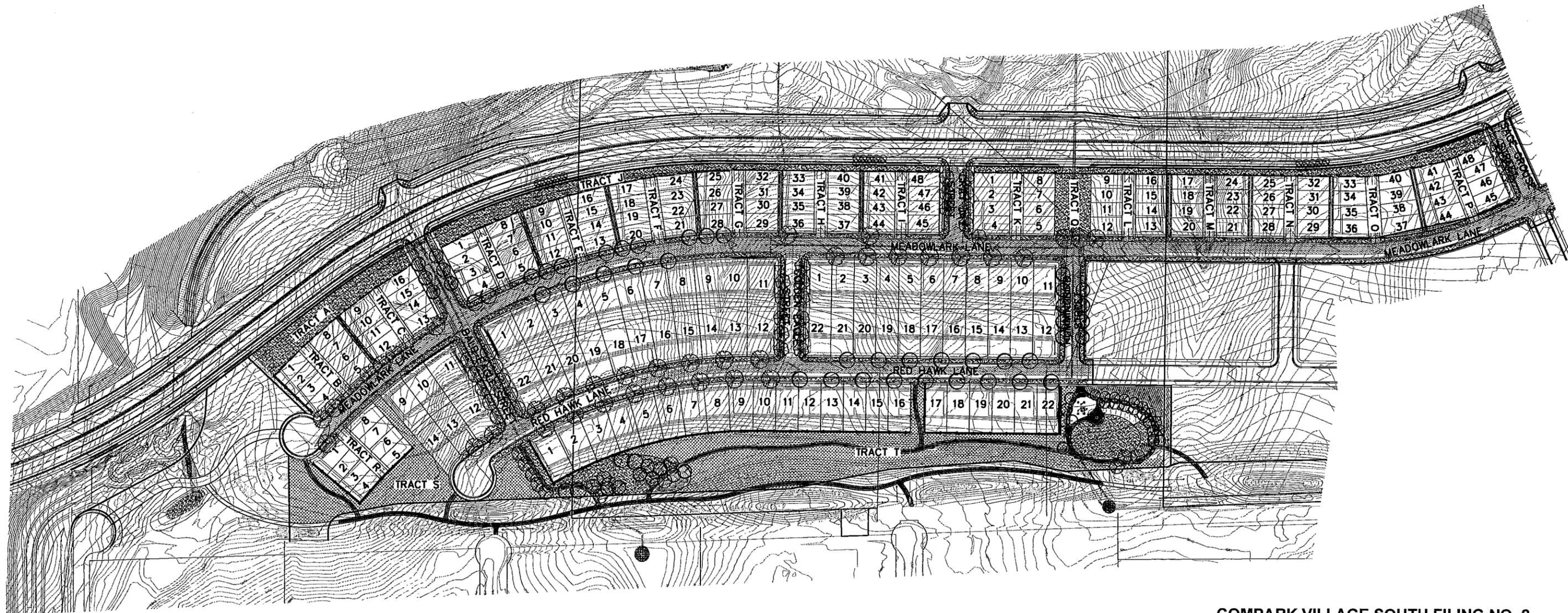
sheet L1 of 13



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COMPARK VILLAGE SOUTH FILING NO. 2 PRELIMINARY LANDSCAPE PLAN

A PARCEL OF LAND LOCATED IN THE SOUTH HALF OF SECTION 6, TOWNSHIP 6 SOUTH RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
PLANNING AREA 17 & 18
32.86 ACRES, 190 RESIDENTIAL UNITS, 20 TRACTS



COMPARK VILLAGE SOUTH FILING NO. 2 PRELIMINARY LANDSCAPE PLAN - GENERAL

OWNER
470 Compark, LLC
290 Fillmore St., Suite 2
Denver, CO 80206

LANDSCAPE ARCHITECT
Plan West, Inc.
767 Santa Fe Drive
Denver, CO 80204
(303) 741-1411

ENGINEER
Manhard Consulting
8008 E. Arapahoe Ct. Suite 110
Centennial 80112
(303) 331-3213

Town of Parker
Colorado
job no. 2015R20
date 1-12-2016
revisions
7-05-2016
8-09-2016

sheet L2 of L13

PLANWEST
PLANNING | SITE DESIGN | LANDSCAPE ARCHITECTURE | ENTITLEMENTS
Denver, Colorado, 80204
303-741-1411
planwest.com

Scale 1" = 100'
0 50' 100' 200'

North

THE REPRODUCTION OF ANY INFORMATION GENERATED BY ARCHITECTS, ENGINEERS OR OTHER CONSULTANTS ON THESE DRAWINGS IS FOR THE EXPRESS PURPOSE OF COORDINATION AND DOES NOT CONSTITUTE AN ENDORSEMENT OR A GUARANTEE OF THE ACCURACY OF THE INFORMATION ON THESE DRAWINGS DOES NOT CONSTITUTE A REPRESENTATION BY PLAN WEST AS TO THE SUFFICIENCY OR ACCURACY OF SAID INFORMATION.

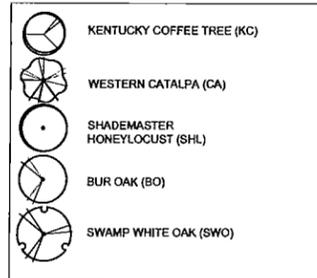
COMPARK VILLAGE SOUTH FILING NO. 2 PRELIMINARY LANDSCAPE PLAN

A PARCEL OF LAND LOCATED IN THE SOUTH HALF OF SECTION 6, TOWNSHIP 6 SOUTH RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

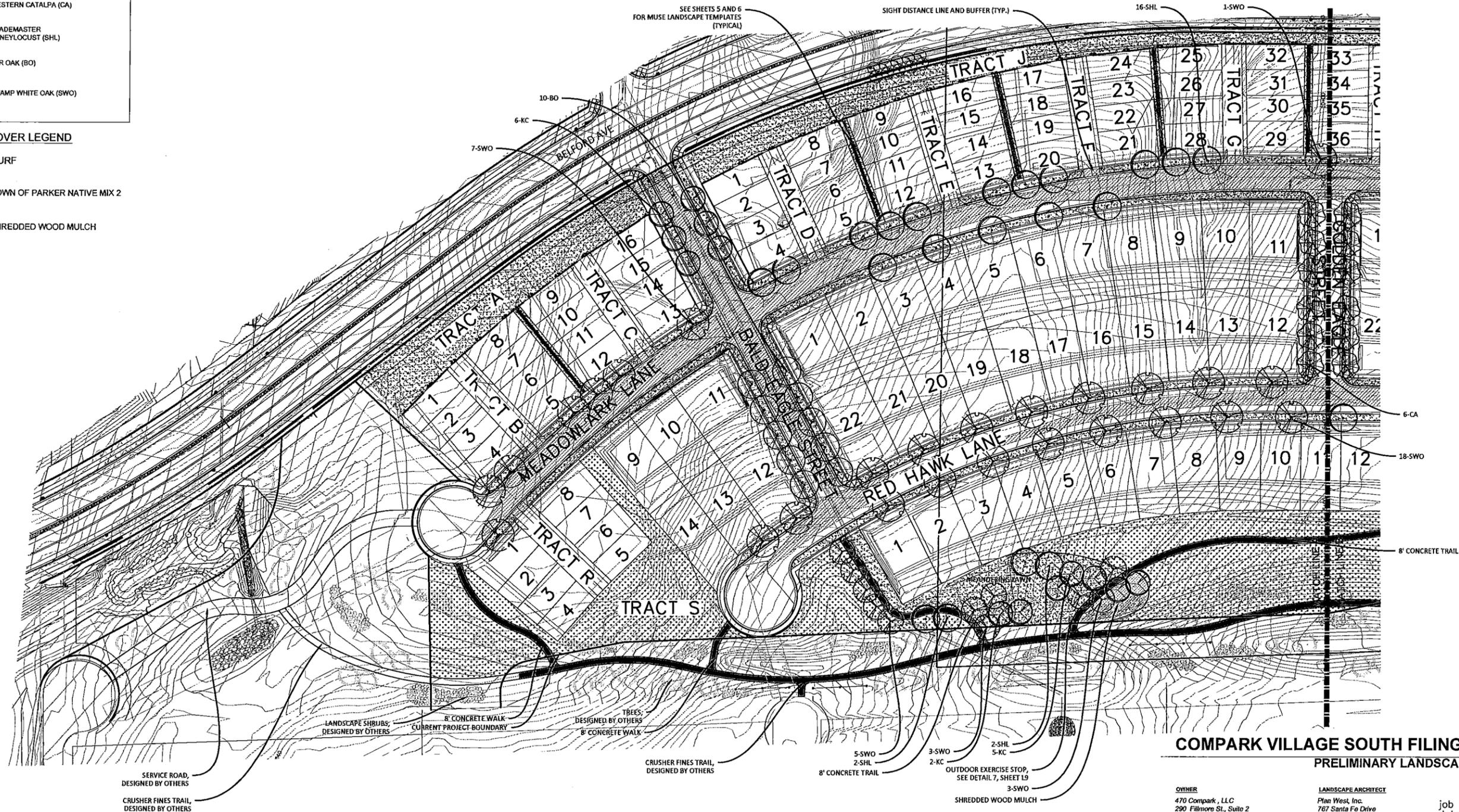
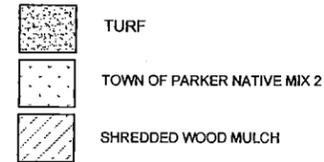
PLANNING AREA 17 & 18

32.86 ACRES, 190 RESIDENTIAL UNITS, 20 TRACTS

STREET TREE SYMBOL LEGEND



GROUND COVER LEGEND



COMPARK VILLAGE SOUTH FILING NO. 2 PRELIMINARY LANDSCAPE PLAN

OWNER
470 Compark, LLC
290 Fillmore St., Suite 2
Denver, CO 80206

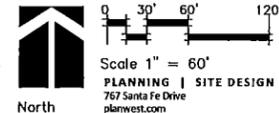
LANDSCAPE ARCHITECT
Plan West, Inc.
767 Santa Fe Drive
Denver, CO 80204
(303) 741-1411

Town of Parker
Colorado

job no. 201520
date 1-12-2016
revisions 7-05-2016
8-09-2016

ENGINEER
Manhard Consulting
8008 E. Arapahoe Ct., Suite 110
Centennial 80112
(303) 531-3213

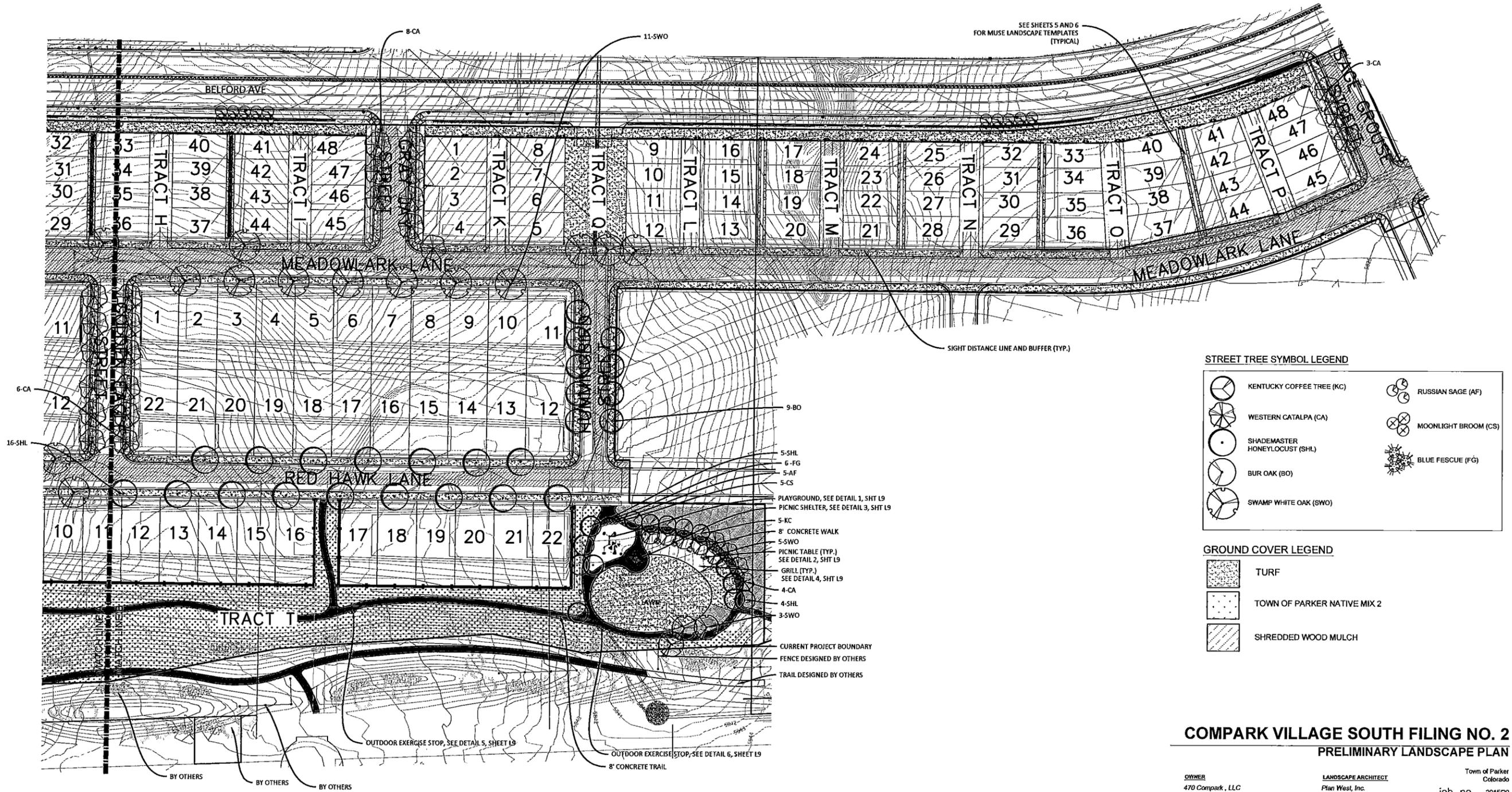
sheet L3 of L13



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COMPARK VILLAGE SOUTH FILING NO. 2 PRELIMINARY LANDSCAPE PLAN

A PARCEL OF LAND LOCATED IN THE SOUTH HALF OF SECTION 6, TOWNSHIP 6 SOUTH RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
PLANNING AREA 17 & 18
32.86 ACRES, 190 RESIDENTIAL UNITS, 20 TRACTS



SEE SHEETS 5 AND 6
FOR MUSE LANDSCAPE TEMPLATES
(TYPICAL)

STREET TREE SYMBOL LEGEND

	KENTUCKY COFFEE TREE (KC)		RUSSIAN SAGE (AF)
	WESTERN CATALPA (CA)		MOONLIGHT BROOM (CS)
	SHADEMASTER HONEYLOCUST (SHL)		BLUE FESCUE (FG)
	BUR OAK (BO)		
	SWAMP WHITE OAK (SWO)		

GROUND COVER LEGEND

	TURF
	TOWN OF PARKER NATIVE MIX 2
	SHREDDED WOOD MULCH

COMPARK VILLAGE SOUTH FILING NO. 2 PRELIMINARY LANDSCAPE PLAN

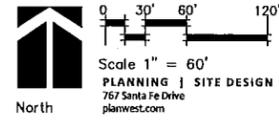
OWNER
470 Compark, LLC
290 Fillmore St., Suite 2
Denver, CO 80206

LANDSCAPE ARCHITECT
Plan West, Inc.
767 Santa Fe Drive
Denver, CO 80204
(303) 741-1411

Town of Parker
Colorado
job no. 2015/20
date 1-12-2016
revisions 7-05-2016
8-09-2016

ENGINEER
Manhard Consulting
8008 E. Arapahoe Ct. Suite 110
Centennial, CO 80112
(303) 531-3213

sheet 4 of 13



THE REPRODUCTION OF ANY INFORMATION GENERATED BY ARCHITECTS, ENGINEERS OR OTHER CONSULTANTS ON THESE DRAWINGS IS FOR THE EXPRESS PURPOSE OF COORDINATION AND USE OF REFERENCE ONLY. INCLUSION OF THIS INFORMATION ON THESE DRAWINGS DOES NOT CONSTITUTE A REPRESENTATION BY PLAN WEST AS TO THE ACCURACY OR ACTUALLY OF SAID INFORMATION.

COMPARK VILLAGE SOUTH FILING NO. 2 PRELIMINARY LANDSCAPE PLAN

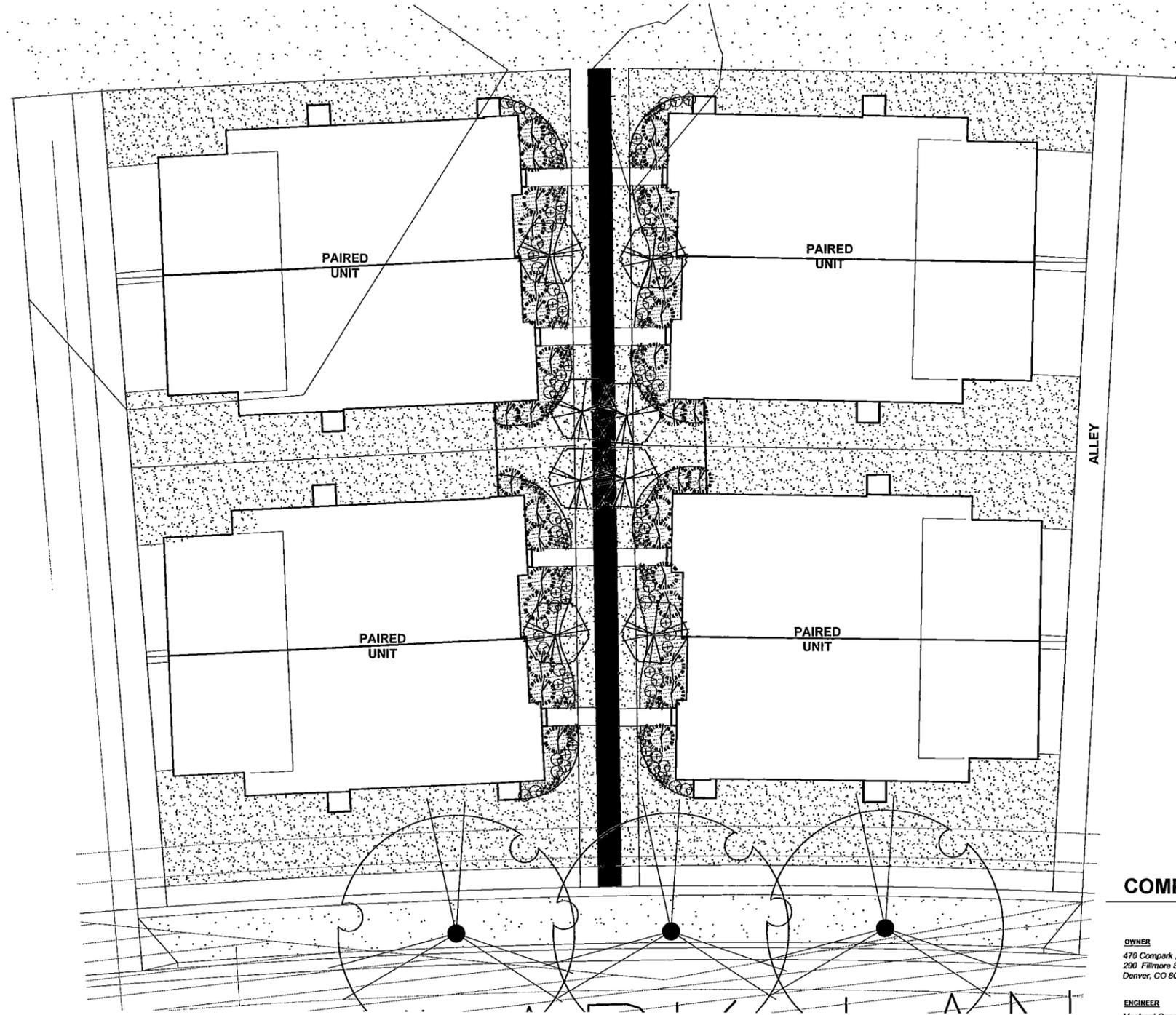
A PARCEL OF LAND LOCATED IN THE SOUTH HALF OF SECTION 6, TOWNSHIP 6 SOUTH RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
PLANNING AREA 17 & 18
32.86 ACRES, 190 RESIDENTIAL UNITS, 20 TRACTS

PLANT SYMBOL LEGEND

	KENTUCKY COFFEE TREE (KC)		DECIDUOUS SHRUB #1
	WESTERN CATALPA (CA)		DECIDUOUS SHRUB #2
	SHADEMASTER HONEYLOCUST (SHL)		ORNAMENTAL GRASSES
	BUR OAK (BO)		EVERGREEN SHRUB #1
	SWAMP WHITE OAK (SWO)		EVERGREEN SHRUB #2
	ORNAMENTAL TREE		

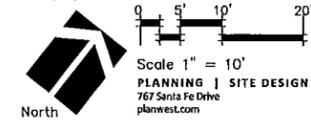
GROUND COVER LEGEND

	TURF
	SHREDDED WOOD MULCH



COMPARK VILLAGE SOUTH FILING NO. 2 PRELIMINARY MUSE (A) LANDSCAPE TEMPLATE

OWNER 470 Compark, LLC 290 Fillmore St., Suite 2 Denver, CO 80206	LANDSCAPE ARCHITECT Plan West, Inc. 767 Santa Fe Drive Denver, CO 80204 (303) 741-1411	Town of Parker Colorado job no. 201520 date 1-12-2016 revisions 7-06-2016 8-09-2016
ENGINEER Manhard Consulting 8008 E. Arapahoe Ct. Suite 110 Centennial 80112 (303) 531-3213		sheet L5 of L13



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PLANWEST
PLANNING | SITE DESIGN | LANDSCAPE ARCHITECTURE | ENTITLEMENTS
767 Santa Fe Drive
Denver, Colorado, 80204
303-741-1411
planwest.com

COMPARK VILLAGE SOUTH FILING NO. 2 PRELIMINARY LANDSCAPE PLAN

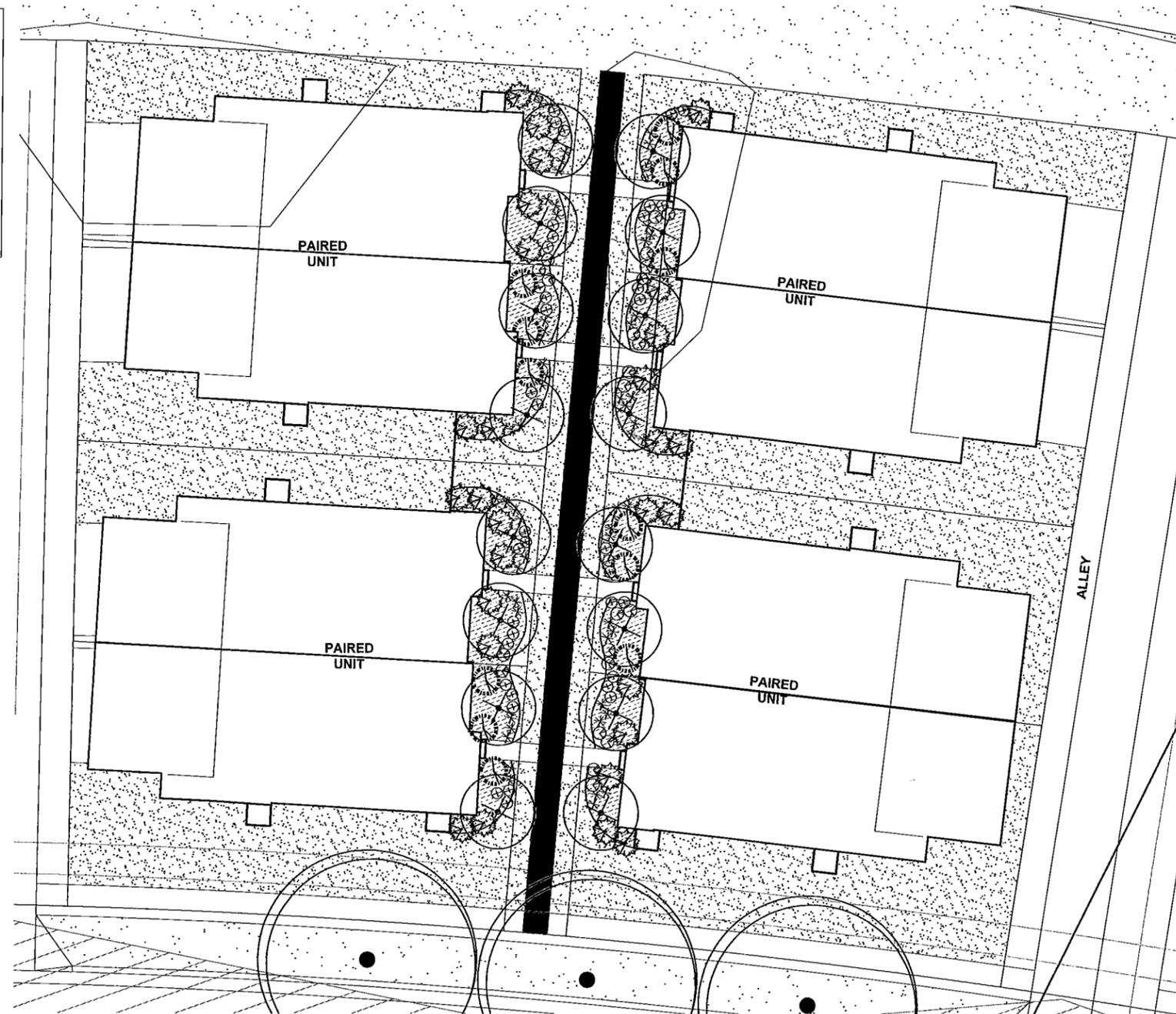
A PARCEL OF LAND LOCATED IN THE SOUTH HALF OF SECTION 6, TOWNSHIP 6 SOUTH RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
PLANNING AREA 17 & 18
32.86 ACRES, 190 RESIDENTIAL UNITS, 20 TRACTS

PLANT SYMBOL LEGEND

	KENTUCKY COFFEE TREE (KC)		DECIDUOUS SHRUB #1
	WESTERN CATALPA (CA)		DECIDUOUS SHRUB #2
	SHADEMASTER HONEYLOCUST (SHL)		ORNAMENTAL GRASSES
	BUR OAK (BO)		EVERGREEN SHRUB #1
	SWAMP WHITE OAK (SWO)		EVERGREEN SHRUB #2
	ORNAMENTAL TREE		

GROUND COVER LEGEND

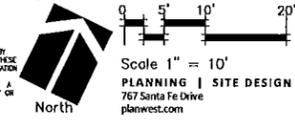
	TURF
	SHREDDED WOOD MULCH



COMPARK VILLAGE SOUTH FILING NO. 2 PRELIMINARY MUSE (B) LANDSCAPE TEMPLATE

OWNER 470 Compark, LLC 290 Fillmore St., Suite 2 Denver, CO 80206	LANDSCAPE ARCHITECT Plan West, Inc. 767 Santa Fe Drive Denver, CO 80204 (303) 741-1411	Town of Parker Colorado job no. 201520 date 1-12-2016 revisions 4-27-2016
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ENGINEER Manhard Consulting 6008 E. Arapahoe Ct. Suite 110 Centennial 80112 (303) 531-3213	8-09-2016 sheet L6 of L13
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COMPARK VILLAGE SOUTH FILING NO. 2 PRELIMINARY LANDSCAPE PLAN

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TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
PLANNING AREA 17 & 18
32.86 ACRES, 190 RESIDENTIAL UNITS, 20 TRACTS

LANDSCAPE PLANT SCHEDULE

QTY	SYMBOL	COMMON NAME	SCIENTIFIC NAME	HYDRO ZONE	SIZE
Deciduous Trees					
19	BO	Bur Oak	Quercus macrocarpa	Xeric	2.5" Cal.
27	CA	Western Catalpa	Catalpa speciosa	Xeric	2.5" Cal.
18	KC	Kentucky Coffee Tree	Gymnocladus dioicus	Xeric	2.5" Cal.
45	SHL	Shademaster Honeylocust	Gleditsia triacanthos inermis 'Shademaster'	Xeric	2.5" Cal.
56	SWO	Swamp White Oak	Quercus bicolor	Xeric	2.5" Cal.
Deciduous Shrubs					
5	AF	Russian Sage	Perovskia artiplicifolia	Xeric	#5
Evergreen Shrubs					
5	CS	Moonlight Broom	Cytisus Scoparius 'Moonlight'	Xeric	#5
Perennial Grass					
6	FG	Blue Fescue	Festuca glauca 'Elijah Blue'	Xeric	#1
Groundcover					
190,000 sf	TURF				Sod
130,800 sf	Mix 2				Seed

Note: Town of Parker Native Seed Mix 2
 22% Slender Wheatgrass
 18% Sodar Streambank Wheatgrass
 13% Arizona Fescue
 13% Blue Grama
 12% Buffalo Grass
 12% Barley or Oats
 5% Spike Muhly
 5% Indian Rice Grass

LANDSCAPE NOTES

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2. VERIFY FIELD CONDITIONS AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK. PROVIDE A STAKED LAYOUT OF NEW SITE IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO, PLANTING LAYOUT, BED LINES, CONCRETE FLATWORK, PLAYGROUNDS, ENTRY MONUMENTATION, LANDSCAPE WALLS, CONCRETE CURBS, AND TURF AREAS FOR APPROVAL PRIOR TO BEGINNING WORK.
3. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION. FOR INFORMATION CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987.
4. PLANT MATERIAL QUALITY SHALL COMPLY WITH THE CURRENT A.N.A. STANDARDS FOR NURSERY STOCK. PLANT MATERIAL SHALL MEET OR EXCEED THE SIZES SPECIFIED. ALL TREES SHALL HAVE WELL BRANCHED TOPS WITH STRAIGHT, WELL DEVELOPED SINGLE LEADERS UNLESS OTHERWISE SPECIFIED IN THE PLANT SCHEDULE. THE LANDSCAPE ARCHITECT (PLAN WEST, INC.) RESERVES THE RIGHT TO REFUSE PLANT MATERIAL OF IMPROPER QUALITY.
5. ALL LANDSCAPED AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION AT THE RATE OF 4 CY PER 1000 SF AND TILLED TO A DEPTH OF 6 INCHES .
6. PLANT MATERIAL WITHIN THE SIGHT TRIANGLES WILL HAVE A MATURE HEIGHT OF 36 INCHES OR LESS ABOVE THE ELEVATION OF THE FLOWLINE. NEW TREES, ONCE MATURE, SHALL BE LIMBED TO A MINIMUM HEIGHT OF 8 FEET.
7. CONTRACTOR SHALL SECURE AND PAY ALL APPLICABLE TAXES, PERMITS AND FEES IN CONNECTION WITH THE WORK UNDER THE CONTRACT, PROVIDE FOR PROTECTION OF ALL UTILITIES, PRIVATE OR PUBLIC PROPERTY, PUBLIC SAFETY, AND EXISTING SITE IMPROVEMENTS FOR THE DURATION OF THE CONTRACT AND COSTS TO THE OWNER . THE CONTRACTOR SHALL KEEP THE PREMISES CLEAN AND ORDERLY AND DISPOSE OF WASTE AND DEBRIS AT AN APPROVED LOCATION OFF-SITE DAILY DURING CONSTRUCTION AND PRIOR TO FINAL ACCEPTANCE.

COMPARK VILLAGE SOUTH FILING NO. 2 PRELIMINARY LANDSCAPE PLAN - SCHEDULE AND NOTES

OWNER 470 Compark, LLC 290 Fillmore St., Suite 2 Denver, CO 80206	LANDSCAPE ARCHITECT Plan West, Inc. 767 Santa Fe Drive Denver, CO 80204 (303) 741-1411	Town of Parker Colorado job no. 201520 date 1-12-2016 revisions 7-8-2016 8-09-2016
ENGINEER Manhard Consulting 8000 E. Arapahoe Ct. Suite 110 Centennial 80112 (303) 531-3213		sheet L7 of L13

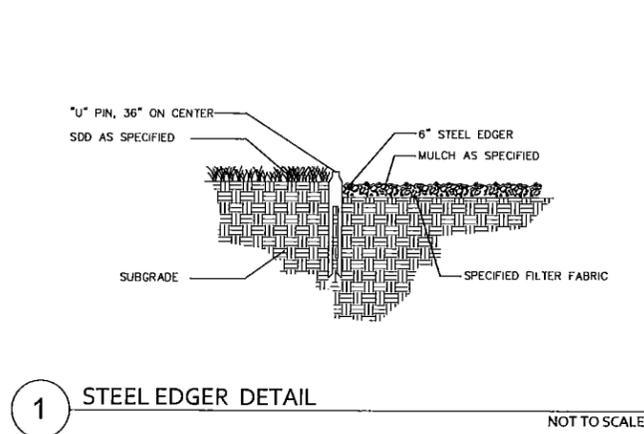


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 767 Santa Fe Drive
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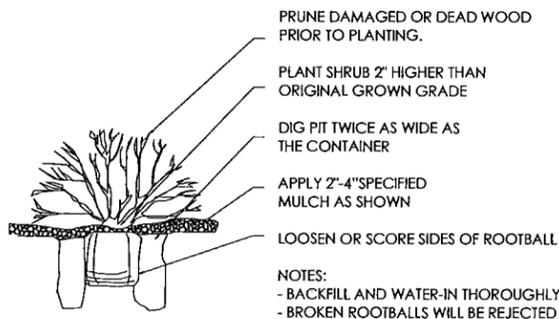
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PLANNING AREA 17 & 18
32.86 ACRES, 190 RESIDENTIAL UNITS, 20 TRACTS



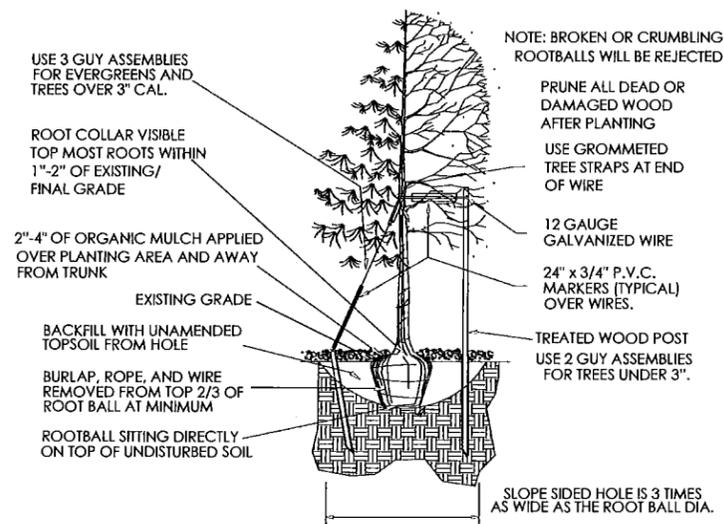
1 STEEL EDGER DETAIL NOT TO SCALE

TOWN OF PARKER PLANTING DETAIL - SHRUBS



2 TYPICAL SHRUB PLANTING DETAIL NOT TO SCALE

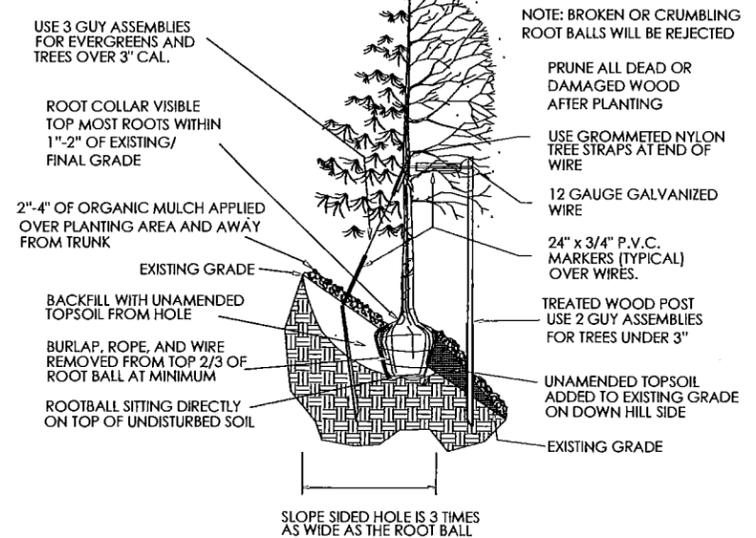
TOWN OF PARKER PLANTING STANDARDS



- Excavate planting holes with sloping sides. Make excavations at least three times as wide as the root ball diameter and no deeper than the distance from the top most roots in the root ball to the bottom of the root ball to allow for settling. Do not disturb soil at bottom of planting holes, but do score the sides of the planting hole. The planting area shall be loosened and aerated at least three times the diameter of the root ball. Backfill shall consist of existing on site topsoil - no amendments shall be used unless otherwise specified.
- Trees shall be planted with the root collar/flare visible above grade AND two or more structural roots located within the top 1" to 2" of the root ball/finished grade measured 3" to 4" from trunk. This includes trees that are set on slopes (see slope planting detail). Trees that do not have a visible root collar shall be rejected. Do not cover the root ball with soil.
- When root ball will remain intact, cut off bottom 1/4 of wire basket before placing tree in hole, cut off remainder of basket AFTER tree is set in hole, remove basket completely. At a minimum, the top 2/3 of the burlap and basket shall be removed from the root ball on all trees. Remove all nylon ties, twine, rope and burlap. Remove unnecessary packing material.
- Form soil into a 3" to 5" tall watering ring (saucer) around planting area. This is not necessary in irrigated turf areas. Apply 2" to 4" depth of specified mulch over planting area and inside saucers, away from trunk.
- Staking and guying of trees is optional in most planting situations. In areas of extreme winds, or on steep slopes, staking may be required to stabilize trees. Staking and guying must be removed within 1 year of planting date.
- Tree wrap is *not* to be used on any new plantings, except in late fall planting situations, and only then after consultation with the Town Arborist.
- Resettling of improperly planted trees will only be allowed if it is determined that doing so will in no way compromise the root ball, and shall only be done with approval of the Town Arborist.

3 TYPICAL TREE PLANTING DETAIL NOT TO SCALE

TOWN OF PARKER TREE PLANTING DETAIL - SLOPES



4 TYPICAL TREE PLANTING DETAIL (ON SLOPE) NOT TO SCALE

COMPARK VILLAGE SOUTH FILING NO. 2 PRELIMINARY LANDSCAPE PLAN - DETAILS

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ENGINEER Manhard Consulting 8008 E. Arapahoe Ct. Suite 110 Centennial 80112 (303) 531-3213	sheet L8 of L13	



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32.86 ACRES, 190 RESIDENTIAL UNITS, 20 TRACTS

General Notes:

Age Group
 2-5 years 5-12 year 12-17 year

- The equipment with manufacturer's (MFG) safety instructions must be followed. If the MFG instructions are not available, the equipment must be tested by a qualified person to determine if the ADA applies to you.
- For playground equipment to be considered accessible, accessible surfacing must be utilized in appropriate areas. Although a particular playground device may not meet the proposed Access Board Regulations by reason for the appropriate number of ground level events, the actual playground may be in compliance when considering all of the equipment.
- All equipment must be maintained from top of ground cover. All equipment ground cover is required under and around all play equipment.
- The minimum recommended set zone around the main play structure is 60 feet. This zone is to be free of all tripping or collision hazards (i.e. rocks, roots, border materials, etc.).
- All play equipment are identified by text showing the post height. i.e. 10 represents a 10 foot post.
- Set of equipment may be appropriate for all children. Supervision is required.

Minimal recommended setzone
Area: 1177 sq. feet
Perimeter: 154 feet

Project: 2016 CATALOG
LTCPs rep:
 LTCPs
 800-325-8828
Drawn by: Bill Weber
Date: 09/15/2015
DWG Name: QU066044
Scale: 1/8"=1'
Approved by:
 LTCPs - Farmington
 One Iron Mountain Drive
 Farmington, Missouri 63640
 Voice: 1-800-325-8828
 Fax: 573-756-0319

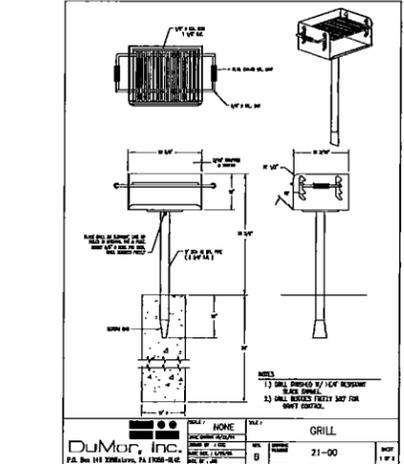
COLOR: MINT FUDGE SWIRL

Playground Layout Compliance:

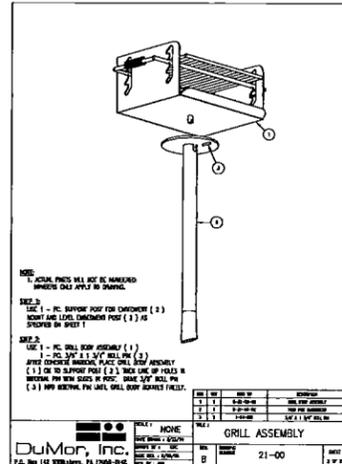
ASTM F1487 - Playground Equipment for Public Use
 PSC Handbook for Public Playground Safety
 This playground design meets final Access Board Regulations.

LEED points for this structure: 2

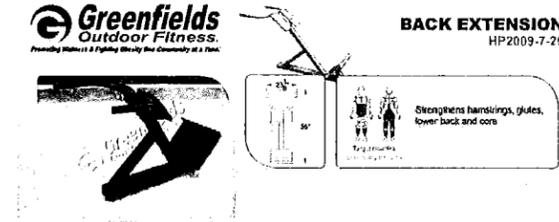
1 PLAYGROUND DETAIL



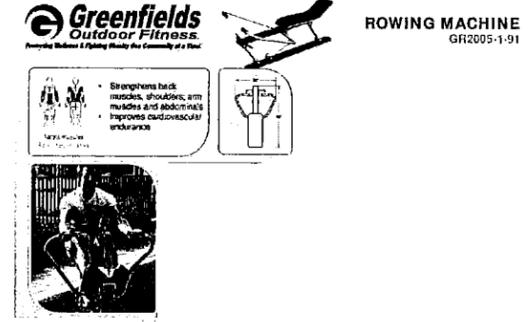
4 GRILL DETAIL



NOT TO SCALE

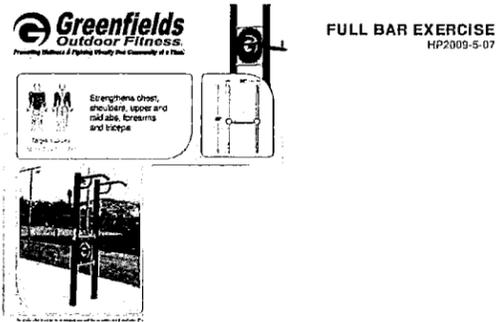


5 OUTDOOR FITNESS DETAIL



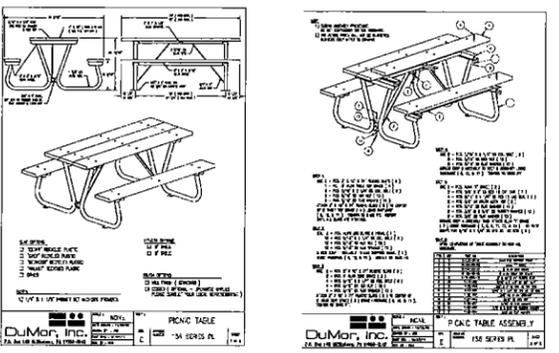
6 OUTDOOR FITNESS DETAIL

NOT TO SCALE



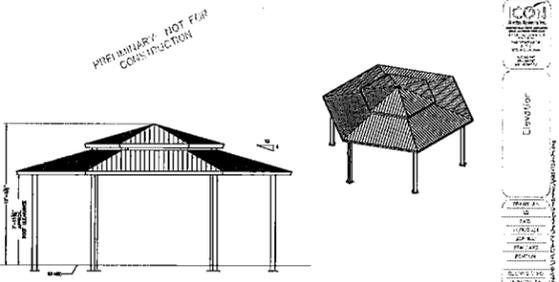
7 OUTDOOR FITNESS DETAIL

NOT TO SCALE



2 PICNIC TABLE DETAIL

NOT TO SCALE



3 PICNIC SHELTER DETAIL

NOT TO SCALE

COMPARK VILLAGE SOUTH FILING NO. 2 PRELIMINARY LANDSCAPE PLAN - DETAILS

OWNER
 470 Compark, LLC
 290 Fillmore St., Suite 2
 Denver, CO 80206

LANDSCAPE ARCHITECT
 Plan West, Inc.
 767 Santa Fe Drive
 Denver, CO 80204
 (303) 741-1411

Town of Parker
 Colorado

job no. 201520
 date 1-12-2016
 revisions 7-6-2016
 8-09-2016

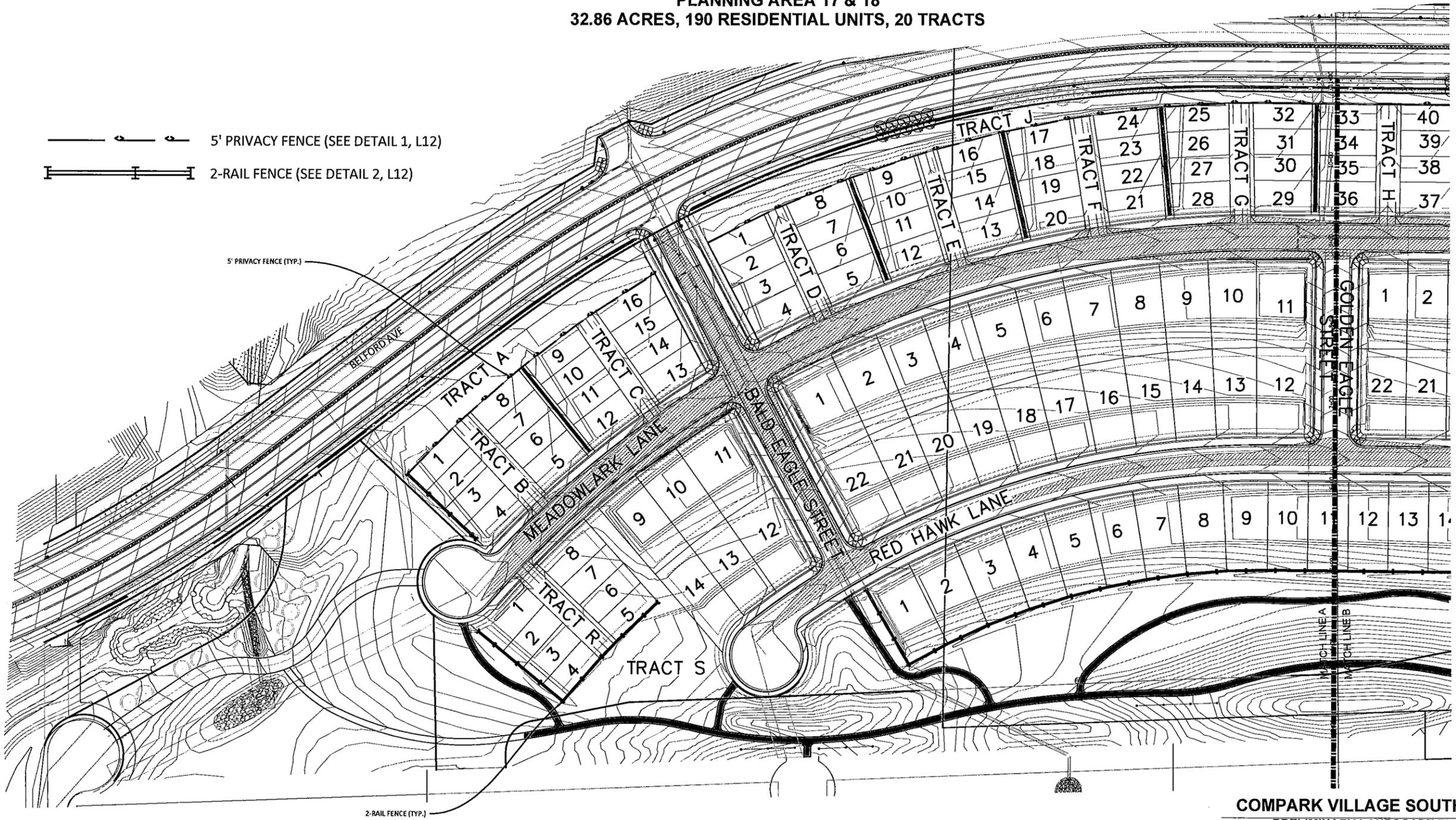
sheet L9 of L13



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PLANNING AREA 17 & 18
32.86 ACRES, 190 RESIDENTIAL UNITS, 20 TRACTS



—○—○— 5' PRIVACY FENCE (SEE DETAIL 1, L12)
= = 2-RAIL FENCE (SEE DETAIL 2, L12)

5' PRIVACY FENCE (TYP.)

2-RAIL FENCE (TYP.)

COMPARK VILLAGE SOUTH FILING NO. 2 PRELIMINARY LANDSCAPE PLAN - FENCING PLAN

OWNER
470 Compark, LLC
290 Fillmore St., Suite 2
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767 Santa Fe Drive
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(303) 531-3213

Town of Parker
Colorado
job no. 2015/20
date 1-12-2016
revisions
7-5-2016
8-09-2016

sheet L10 of L13

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planwest.com

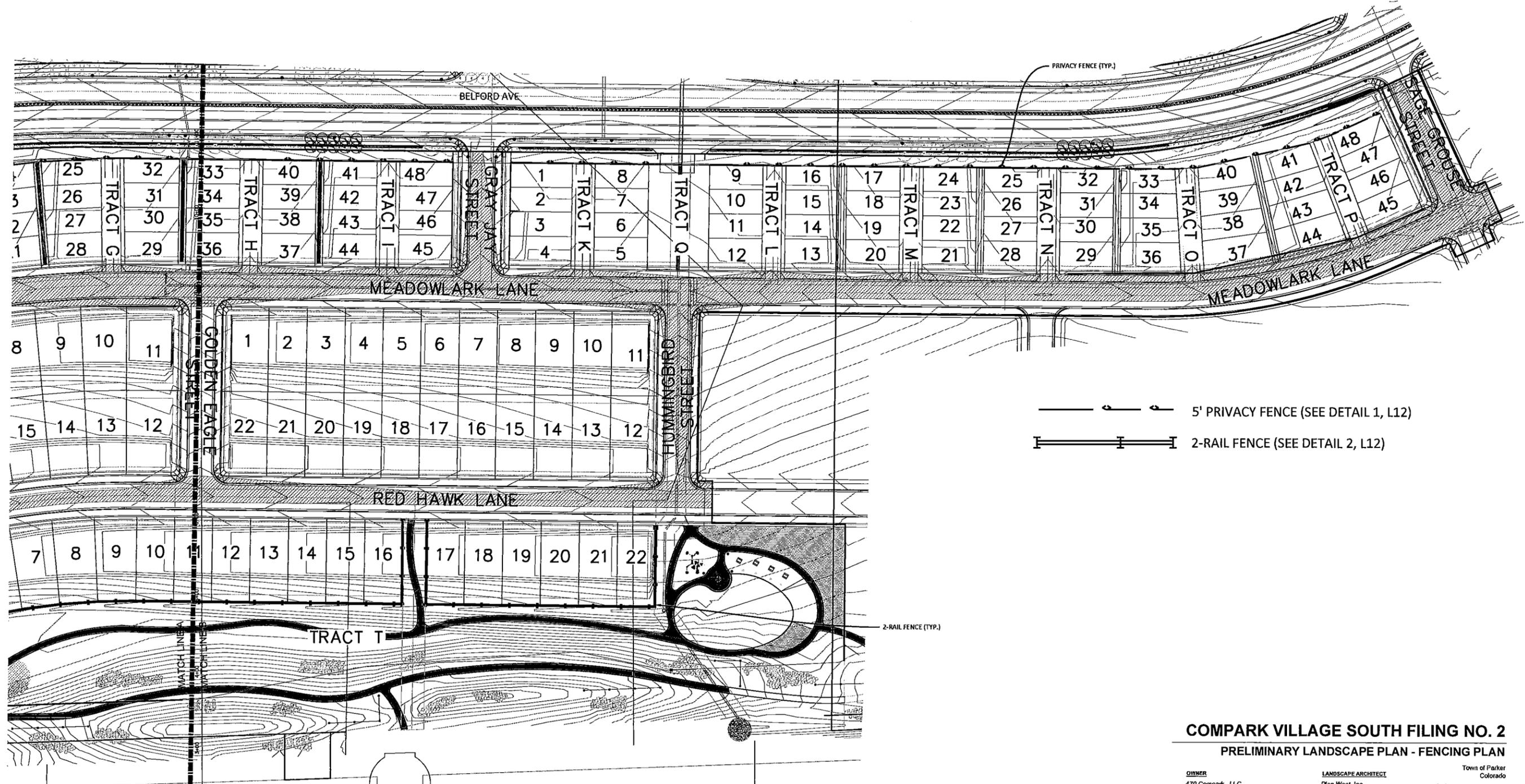
Scale 1" = 60'
0 30' 60' 120'

North

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—•— 5' PRIVACY FENCE (SEE DETAIL 1, L12)
= = 2-RAIL FENCE (SEE DETAIL 2, L12)

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OWNER
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290 Fillmore St., Suite 2
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8-09-2016

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8009 E. Arapahoe Ct. Suite 110
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(303) 531-3213

sheet L11 of L13

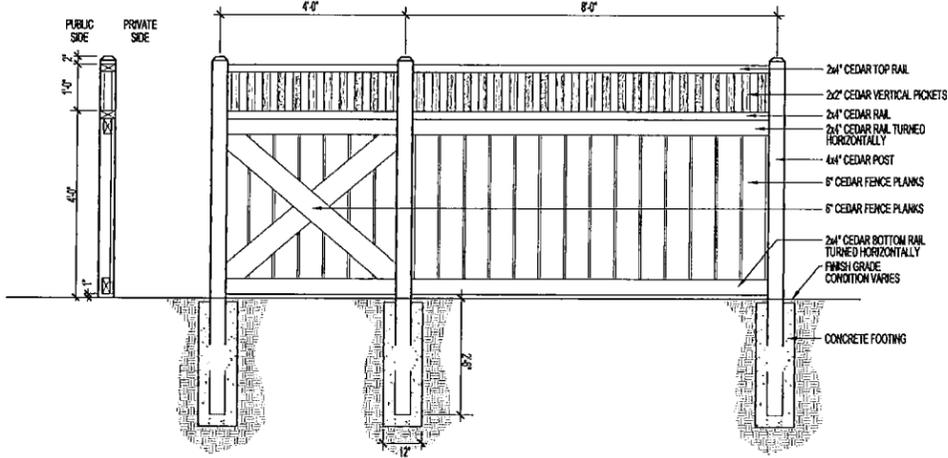


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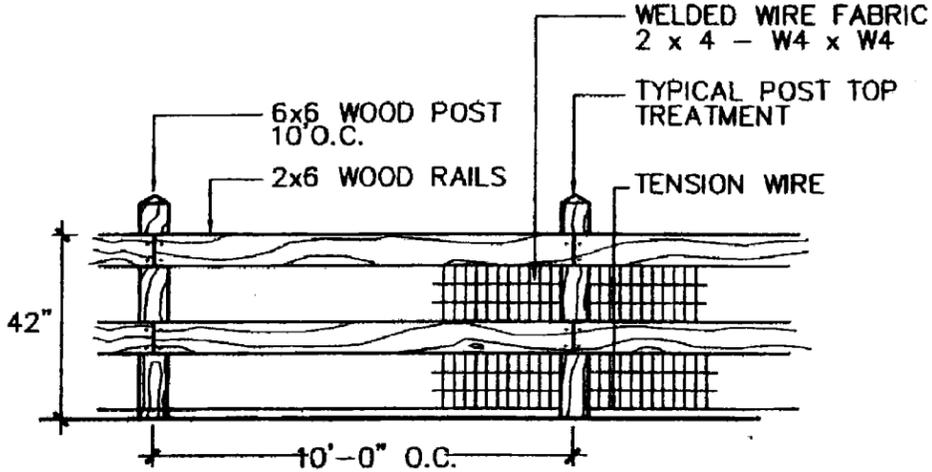
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Notes:
1. 4' Privacy Fence Panel to be built after every three 8' Privacy Fence Panel Sections.

1 5' PRIVACY FENCE DETAIL
TOWN OF PARKER STANDARD

NOT TO SCALE



2 2-RAIL FENCE DETAIL
TOWN OF PARKER STANDARD

COMPARK VILLAGE SOUTH FILING NO. 2 PRELIMINARY LANDSCAPE PLAN - FENCE DETAILS

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Town of Parker
Colorado

job no. 201520
date 1-12-2016
revisions

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7-8-2016
8-09-2016
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Scale 1" = 60'

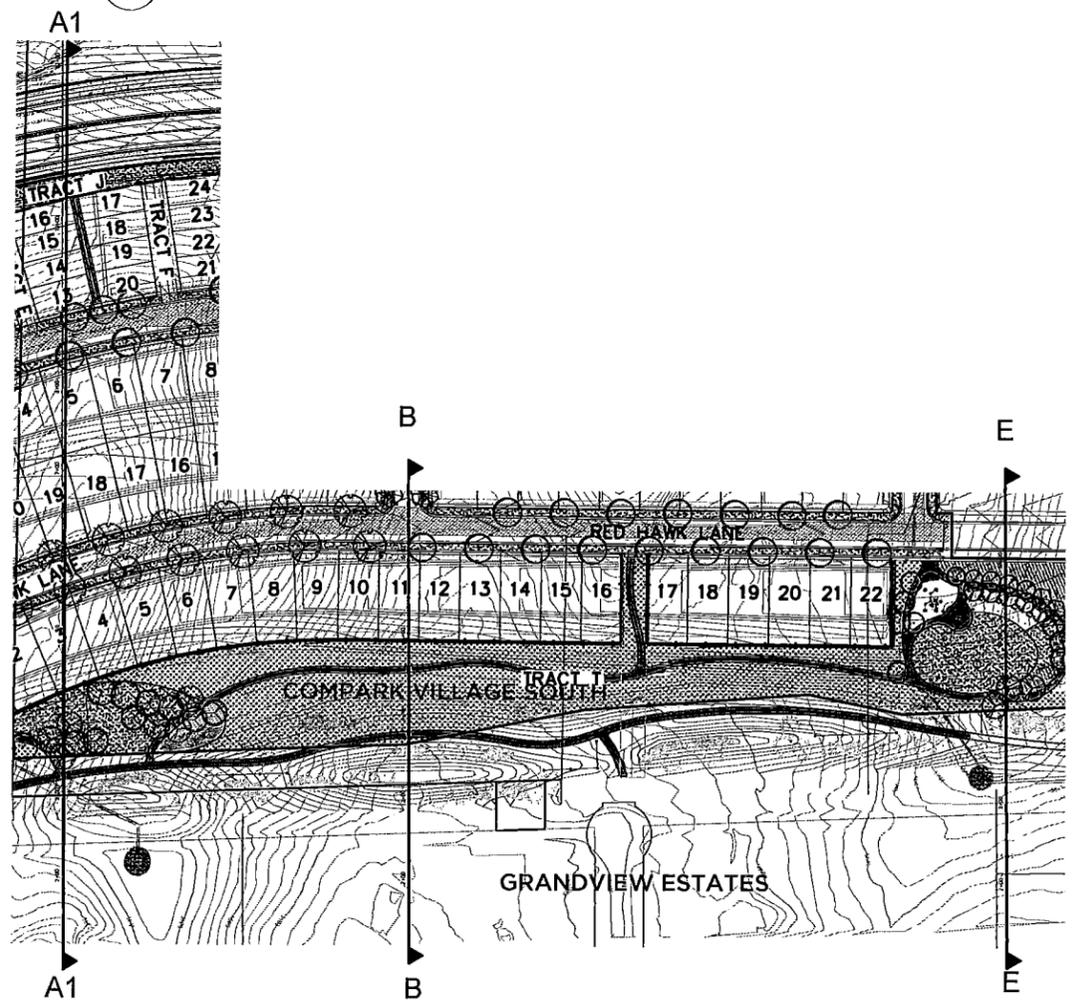
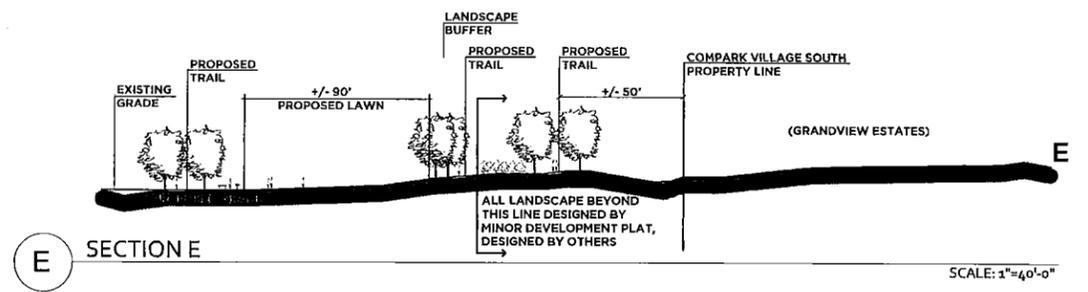
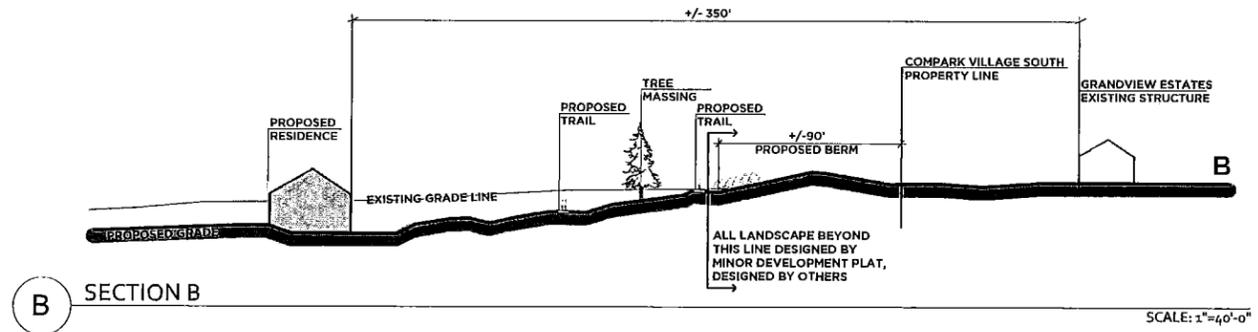
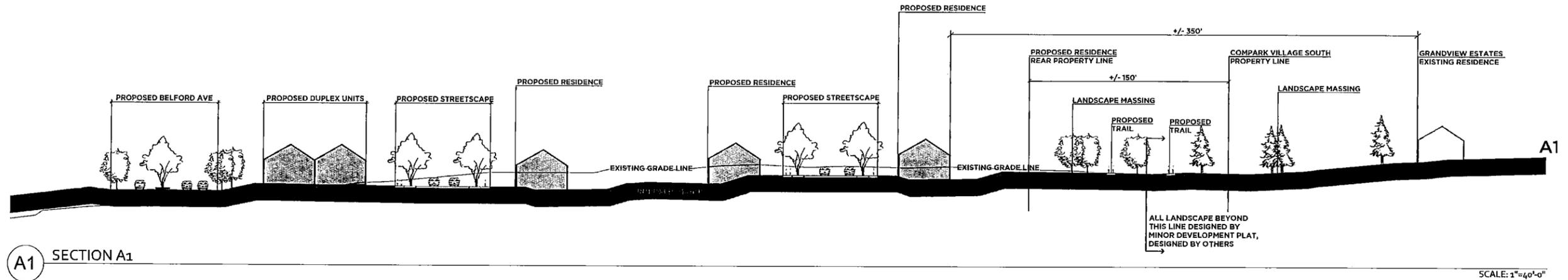


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COMPARK VILLAGE SOUTH FILING NO. 2 PRELIMINARY LANDSCAPE PLAN - SECTIONS

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ENGINEER Manhard Consulting 8008 E. Arapahoe Ct. Suite 110 Centennial 80112 (303) 531-3213		sheet L13 of 13

SCALE: SEE ABOVE

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