



**PLANNING COMMISSION MEETING**

**7:00 p.m.**

**December 1, 2016**

1. **CALL TO ORDER**
2. **PLEDGE OF ALLEGIANCE**
3. **ROLL CALL**
4. **ADDITIONS TO OR DELETIONS FROM THE AGENDA**
5. **APPROVAL OF MINUTES**  
November 10, 2016 Minutes
6. **CONSENT AGENDA**
7. **PUBLIC HEARING: PARKER PLACE HOTEL – Site Plan Push-up**  
Applicants: Mainstreet Pier, LLC  
Location: 19801 Mainstreet  
Planner: Patrick Mulready
8. **PUBLIC HEARING: TOWN OF PARKER AND DOUGLAS COUNTY  
INTERGOVERNMENTAL AGREEMENT AND COMPREHENSIVE DEVELOPMENT  
PLAN FOURTH AMENDMENT**  
Applicant: Town of Parker  
Planner: Ryan McGee
  - A. **ORDINANCE NO 9.71.5**  
A Bill for an Ordinance to Approve the Fourth Amendment to the Intergovernmental Agreement Between the Town of Parker and the Board of County Commissioners of the County of Douglas Regarding the Fourth Amendment to the Comprehensive Development Plan Between the Town of Parker and Douglas County for Areas Within Their Respective Jurisdictions
  - B. **ORDINANCE NO. 9.70.5**  
A Bill for an Ordinance to Approve the Fourth Amendment to the Mutually Binding and Enforceable Comprehensive Development Plan Between the Town of Parker and Douglas County for Areas Within the Town of Parker and Douglas County
9. **PUBLIC HEARING: BLAIR INDUSTRIAL CENTER LOT 25 – Use by Special Review**  
Applicant: K-9 State of Mind, LLC, Kari Solberg  
Location: 6280 Progress Lane  
Planner: Stacey Nerger
9. **PLANNING COMMISSION ITEMS**
10. **STAFF ITEMS**
11. **ADJOURNMENT**



**PLANNING COMMISSION MINUTES**  
**November 10, 2016**

Chair Gary Poole called the meeting to order at 7:00 p.m.; recognized and requested the Boy Scout in attendance to lead the audience in the Pledge of Allegiance.

Also, present were Commissioners Duane Hopkins, Sasha Levy, John Howe and Robert Moffitt; Alternates Richard Foerster and Erik Frandsen were present. Alternate Eliana Burke was absent.

**ADDITIONS TO OR DELETIONS FROM THE AGENDA**

None

**APPROVAL OF MINUTES**

Commissioner John Howe moved to approve the October 13, 2016 meeting minutes. Commissioner Robert Moffitt seconded; a vote was taken and passed 3:0:2 with Commissioners Duane Hopkins and Sasha Levy abstaining due to being absent from the October 13, 2016 meeting.

**CONSENT AGENDA**

None

**PUBLIC MEETING: OPENED: 7:02 P.M. THREE-MILE AREA PLAN - ANNUAL UPDATE**

Applicant: Town of Parker  
Planner: Carolyn Washee-Freeland and Mary Munekata

Mary Munekata, Planner, presented the staff report for the Resolution to adopt the Town of Parker, Colorado Three-Mile Area Plan. Ms. Munekata concluded with the determinations in the staff report and recommended the Planning Commission recommend Town Council approve the Resolution to adopt the Town of Parker, Colorado Three-Mile Area Plan.

Commissioners had no questions for staff.

**APPLICANT PRESENTATION**

Town staff presentation only

**PUBLIC COMMENT OPENED**

None

**PUBLIC COMMENT CLOSED**

**PUBLIC MEETING: CLOSED: 7:07 P.M. A RESOLUTION TO ADOPT THE TOWN OF PARKER, COLORADO THREE- MILE AREA PLAN**

**PLANNING COMMISSION DISCUSSION**

All the Commissioners agreed that the update was straight-forward, keeps the Town in compliance, reflects the changes that have occurred in the last year and thanked staff for providing updates.

Mary Munekata thanked Ms. Freeland for her work.

Commissioner John Howe moved that the Planning Commission recommend the Town Council adopt the Three-Mile Area Plan Update. Commissioner Duane Hopkins seconded; a vote was taken and passed 5:0.

**PLANNING COMMISSION ITEMS**

Planning Commissioners and staff discussed the need for the December 1, 2016 meeting and if there will be a December 8, 2016 meeting.

Staff explained the need to process applications close to the end of the year within scheduled meeting dates and there may or may not be a December 8, 2016 meeting. Staff will keep the Planning Commissioners informed via email.

**STAFF ITEMS**

**APPROVAL OF 2017 PLANNING COMMISSION MEETING DATES**

Commissioner John Howe moved to approve the 2017 Planning Commission meeting dates. Commissioner Duane Hopkins seconded; a vote was taken and passed 5:0.

**ADJOURNMENT**

The meeting was adjourned at 7:10 p.m.

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Rosemary Sietsema  
Recording Secretary

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Gary Poole  
Chair



**PARKER**  
C O L O R A D O

**Community Development Department Memorandum  
Development Review Division**

**To:** Town of Parker Planning Commission

**From:** Patrick Mulready, Senior Planner  
Bryce Matthews, AICP, Planning Manager *BM*

**Through:** Jason Rogers, AICP, Deputy Community Development Director *JRR*

**Date:** December 1, 2016

**Regarding:** Public Hearing: Parker Place Hotel at Lot 1, Block 1, Parker Central Area  
Filing 1 – Site Plan  
[Case No. SP16-086]

**Section I.  
Subject & Proposal:**

**Location:** Northeast corner of Mainstreet and Victorian Way, also expressed as 19801 E. Mainstreet.

**Applicant:** Rick Hill, Main Street Pier, LLC

**Project Rep:** Will Rogers, Associated Architects

**Proposal:** The applicant proposes to demolish the existing Economic Development annex building and replace it with a four story, 51 room hotel featuring retail and restaurant uses at the ground floor.

**Section II.  
Background:**

**History:** The subject property was part of the original incorporation of the Town of Parker in 1981. It was subsequently platted as one lot and conveyed to the Parker Public Library Fund as a location for the Parker Public Library in 1984. The property was conveyed in 1994 when it was acquired by the Parker Water and Sanitation District and converted from a library building to the administrative offices for the Town's water and sanitary sewer provider. It was acquired by the Parker Authority for Reinvestment in 2014 and has served as an office for the Town's Economic Development Department as

well as Cultural Department employees. The Planning Director has opted to use the code-provided “push up” provision for this site plan given its significance to downtown Parker and the fact that it is owned by a public entity.

**Land Use Summary Data:**

**Total Area:** 0.975 acres (42,471 square feet)  
**Zoning:** Greater Downtown District/Historic Center  
**Existing Use:** Administrative offices.

**Development Standards:**

	<b>Required/Minimum</b>	<b>Proposed</b>
<b>Building Height:</b>	4 stories or 60 feet (not including parapet)	4 stories / 49 feet, 4½ inches to roof 63 feet, 3 ½ inches to top of parapet
<b>Setbacks:</b>		
<b>Front:</b>	0 feet	18.5 feet to back of curb on Mainstreet
<b>Sides:</b>	0 feet	18.5 feet to back of curb on Victorian Way 6 feet to east property line
<b>Rear:</b>	0 feet	54 feet to north property line
<b>Parking:</b>	0 spaces	28 total gated access spaces: 24 parking spaces, 4 accessible spaces
	Additional:	9 on-street parking spaces 1 40-foot wide loading zone
<b>Bicycle Parking:</b>	0 spaces	18 spaces

**Surrounding Zoning & Land Use:**

**North:** Parker Central Area Planned Development – Multifamily residential as part of Town & Country Townhomes  
**East:** Parker Central Area Planned Development – Multifamily residential as part of Town & Country Townhomes  
**South:** Greater Downtown District/Historic Center – currently vacant and undeveloped  
**West:** Greater Downtown District/Historic Center – commercial office, retail and restaurant uses within the Parker Station building

### **Section III.**

#### **Analysis:**

##### **Site Plan:**

The applicant proposes to develop a four story commercial building comprising a total of 53,753 square feet. The proposal comprises:

- 23,998 square feet of restaurant, retail and hotel supporting functions on the ground floor
- 51 room hotel on the second, third and fourth floors. This constitutes the remaining 29,755 square feet of building area
- 28 total parking spaces accessed via Victorian Way. Access to these spaces is controlled by an electronic gate arm
- 6 foot tall wood privacy fence with brick columns spaced at 32 foot intervals along the north property line
- Trash enclosure structure located outside parking lot gates, featuring 10-foot high wood walls with metal coping at the corner elements

##### **Access & Circulation:**

The subject property abuts both Mainstreet and Victorian Way. Adjacent to the main building entrance along Mainstreet is a proposed 40-foot loading zone for hotel guests to remove or replace luggage from a waiting vehicle. Note that the loading zone request will require a separate licensing approval process through Town Council. The parking lot is accessed from Victorian Way and is controlled by an electronic gate arm for use by hotel guests only. Note that the loading zone request will require a separate licensing approval process through Town Council.

##### **Parking:**

There are no parking requirements with the Greater Downtown District/Historic Center. The applicant has provided a total of 28 parking spaces on site. Four of these are accessible spaces.

##### **Utilities:**

This property is within the Parker Water and Sanitation District service area. Electrical service will be provided by IREA and natural gas will be provided by Xcel Energy. All three have indicated that they have service mains in the vicinity of this site.

##### **Landscaping:**

A minimum ten percent (10%) of the total site area shall be designed for landscaping, plazas or pocket parks within the Greater Downtown District/Historic Center. The applicant has provided 10,057 square feet of plaza space between the planting areas and enhanced sidewalk amenity zones adjacent to the Mainstreet and Victorian Way rights of way. These widths exceed the minimum requirements specified in the Greater Downtown District/Historic Center design guidelines. These sidewalks serve as amenity areas which will include bench seating and lighting as well as overflow restaurant table space. The proposed tree plantings will be placed within tree grates at 30 foot intervals along the Mainstreet and Victorian Way.

**Drainage, Grading & Erosion Control:**

The site is currently served by a series of storm water detention facilities along Victorian Way which collect runoff from development on site. These flows are conveyed by subsurface storm water pipes which direct the water under Parker Road to a regional detention facility located within the 20-Mile Industrial Park. The Town's Engineering Division has confirmed that the proposed redevelopment of this site will not overload the existing storm water facilities.

There will be minimal grading work associated with this project. On site work will consist of the demolition of the existing building and parking field before construction of the hotel can commence. Soil Erosion Control measures will be required by grading permit prior to the beginning of work on site.

**Signage:**

All signage indicated on the elevations is for illustrative purposes only. Proposed signage will require a sign permit application and approval of a separately issued Sign Permit or Planned Sign Program.

**Architecture:**

The predominant building material for the Parker Place Hotel is brick. The façade has been organized such that three different color palates of brick compose the elevations. These are applied based on whether an elevation plane is recessed or projecting and are intended to draw attention to the projecting elements of the building which has the effect of breaking the building bulk into smaller elements.



The ground floor brick is “CDL Waterlodge,” a darker red color. This color is also used on projecting elements of the upper floors. Two of the projecting facades then apply a lighter red brick (“Barrington”) as a main field color. This color is also applied to recessed sections which wrap the east and west facades. Finally, the recessed portions of the north and south facades which contain full balconies on the south elevation and Juliet-style balconies on all but the fourth floor of the north elevation make use of the lightest brick color: “Old Carbondale.”



The building is also designed to break the roof line at certain intervals in order to create visual interest. The building design includes massing and design elements that address the southwest corner of the site at the intersection of Mainstreet and Victorian Way. The building was designed to wrap the corner and thus continually address human scale at the ground level.

#### **Section IV.**

#### **Referral Agency Comments:**

Below are the condensed versions of referral responses received from affected agencies:

#### **Town of Parker Engineering Dept.:**

Engineering has a memo featuring 20 comments of modifications to both public improvement cost estimates and the civil construction plans. These must be addressed before a grading permit to commence utility work on site will be granted.

#### **Parker Water & Sanitation District:**

Parker Water and Sanitation District has several comments regarding the civil construction plans – specifically the utility plan sets. These must be addressed before a building permit will be issued.

#### **Town of Parker Fire/Life Safety:**

Fire/Life Safety has a series of red-lined corrections to the Civil Construction Plans

which must be addressed before a Building Permit can be issued.

#### **Town of Parker Police Department:**

No comment

#### **Town of Parker Economic Development:**

Approved

#### **IREA:**

IREA will continue to maintain its existing facilities on site, and will require that installed landscaping keep a minimum clear distance from above ground electrical equipment. (Standard Form Letter.)

**Xcel Energy:**

Reminds applicant to show the existing the existing natural gas pipeline along the northeasterly property line and requests that it be shown on the construction plans.

**Building Division:**

The eastern elevation is within 10 feet of a lot line and will therefore be required by International Building Codes to meet a specific fire resistive rating on the Building Plan set.

**Cherry Creek Basin Water Quality**

**Authority:**

No comment

**Urban Drainage & Flood Control District:**

No comment

**Town & County Townhomes HOA:**

No comment

**Section V.**

**Recommendation:**

Staff recommends that Planning Commission approve the Site Plan for the Parker Place Hotel at Lot 1, Block 1, Parker Central Area Filing 1 subject to the Town's Land Development Ordinance and the following conditions:

1. The site plan exhibits submitted to the Community Development Department on November 11, 2016, and reviewed by the Planning Commission on December 01, 2016 shall be the approved plans. **ANY ALTERATION, MODIFICATION, SUBSTITUTION, OR REVISION INCLUDING (BUT NOT LIMITED TO) COLORS, MATERIALS, OR PLACEMENT SHALL BE AT THE DISCRETION OF THE COMMUNITY DEVELOPMENT DIRECTOR, WHO RESERVES THE RIGHT TO REQUIRE SAID PROPOSED CHANGES TO BE REVIEWED AND APPROVED BY THE PLANNING COMMISSION.**
2. **THIS APPROVAL SHALL EXPIRE SIX (6) MONTHS AFTER THE DATE OF APPROVAL UNLESS A GRADING PERMIT OR BUILDING PERMIT HAS BEEN APPLIED FOR.** The Community Development Director, upon written request, may grant a ninety (90) day extension.
3. All mechanical equipment shall be fully screened with permanent material and painted to match the building color. All rooftop vents and other appurtenances shall be painted to match the roof or building color to minimize their visual impact. Any rooftop mechanical, vents or appurtenances, which are not shown on the approved plans may be subject to review by the Planning Commission and may require additional conditions for screening. Freestanding lighting fixtures on site may not exceed the height of the principle building.
4. This approval **DOES NOT** include signage. A separate sign permit is required from the Community Development Department. The applicant shall contact the Community Development Department regarding sign permit requirements.
5. Prior to the issuance of a grading permit, the applicant shall revise the Civil Construction Plan set to address the engineering comments made in the Engineering Department's memo dated November 18, 2016.

6. Prior to the issuance of a grading permit, the applicant shall revise the Civil Construction Plan set to address the red-lined corrections made by the Town's Fire/Life Safety Inspector.
7. Prior to the issuance of a grading permit, the applicant shall revise the Civil Construction Plan set to address the comments made by Parker Water & Sanitation District in their memo dated November 1, 2016.
8. Prior to the issuance of a grading permit, the applicant will revise the Civil Construction Plan set to identify the location of the existing natural gas pipeline in the vicinity of the property's northeast corner, as request by Xcel Energy in a letter dated October 18, 2016
9. Prior to the issuance of a building permit on site, the applicant must revise Building Construction Plans to comply with the Building Division's comment dated November 18, 2016.
10. A 30-foot wide landscape area exists between the easterly lot line and the nearest townhome within the Town & Country townhomes. Prior to the issuance of a building permit, the applicant will work with the Town & Country Homeowners association to establish a landscape plan for this area which adequately screens and buffers the hotel from the existing townhomes. The applicant will be responsible for installing this landscaping which will require the issuance of a landscape installation easement from Town & Country Townhomes Association. This landscape plan shall be approved by the Department of Community Development.

**Section VI.**

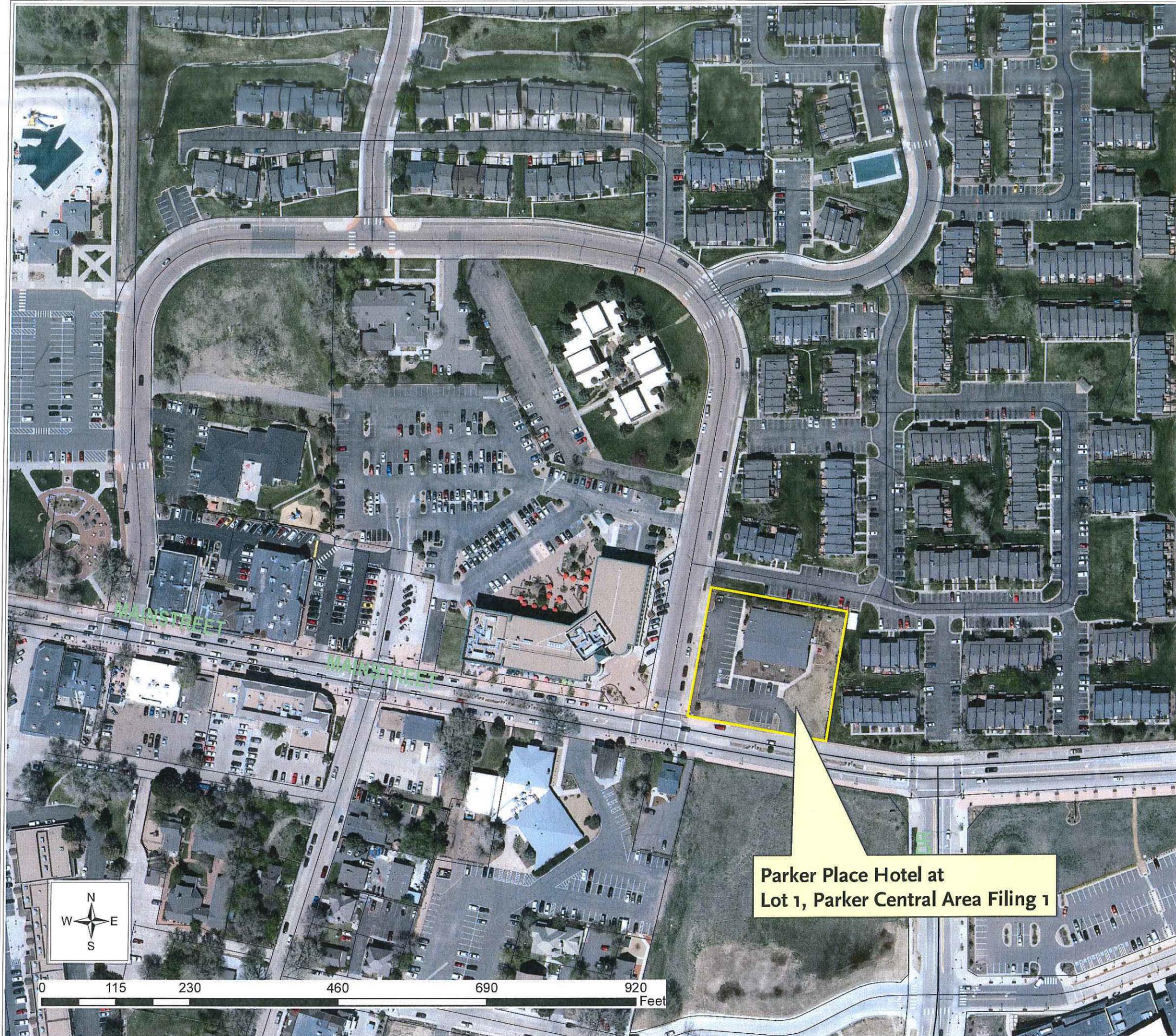
**Attachments:**

1. Vicinity Map
2. Site Plan Exhibit
3. Referral Agency Comments

**Section VII.**

**Proposed Motion(s):**

*"I move that the Planning Commission approve the Site Plan request for the Parker Place Hotel at Lot 1, Block 1, Parker Central Area Filing 1, subject to the 10 conditions listed in staff's report."*



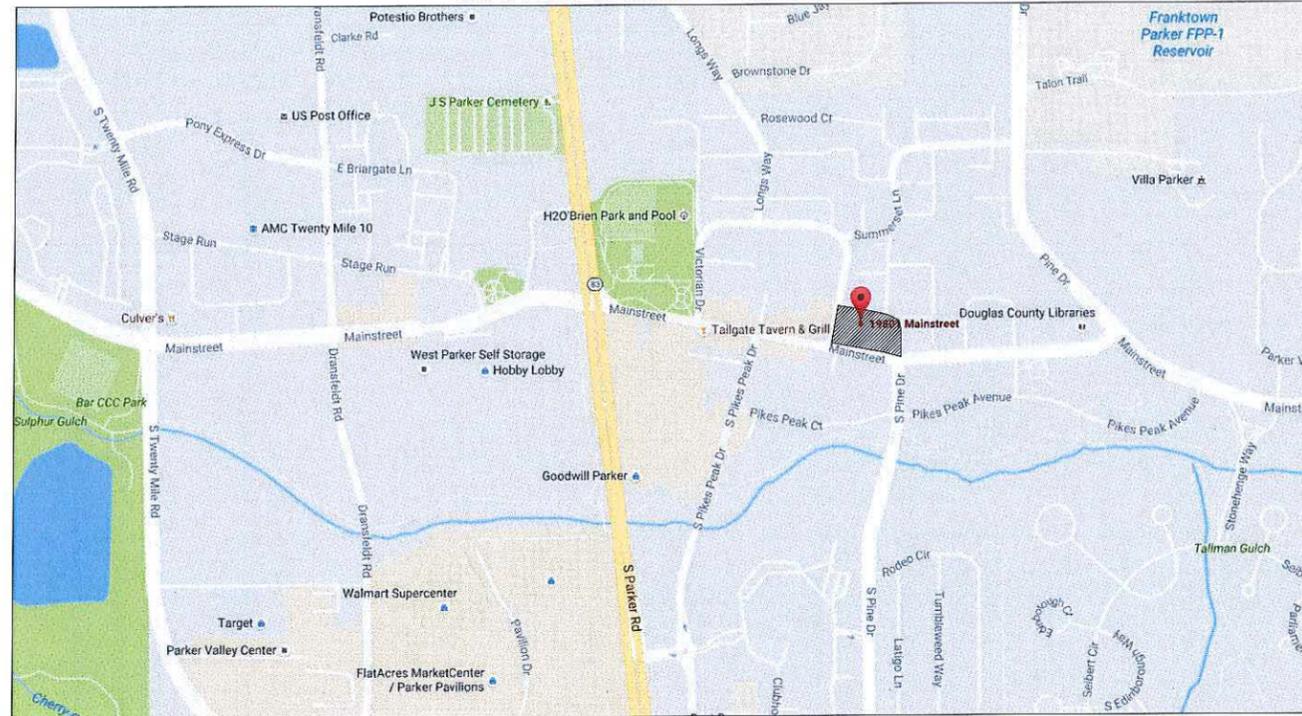
**Legend**

- Town Boundary
- Site
- Roads

**Narrative:**  
 Applicant proposes to scrape off the existing Economic Development office and replace it with a 51 room, 4-story boutique hotel. The ground floor will be restaurant or retail uses exclusively.

**Planner:** Patrick Mulready  
**Hearing Schedules:**  
**Planning Commission:**  
 December 1, 2016

**MAIN STREET PIER, LLC**  
**FORMAL SITE DEVELOPMENT PLANS**  
**A NEW RESTAURANT, RETAIL SPACE AND 51 RM BOUTIQUE HOTEL**  
**A PARCEL OF LAND LOCATED IN THE NORTH EAST QUARTER OF SECTION 22,**  
**TOWNSHIP 6S, RANGE 66 WEST**  
**TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO**  
**19801 E. MAIN STREET**



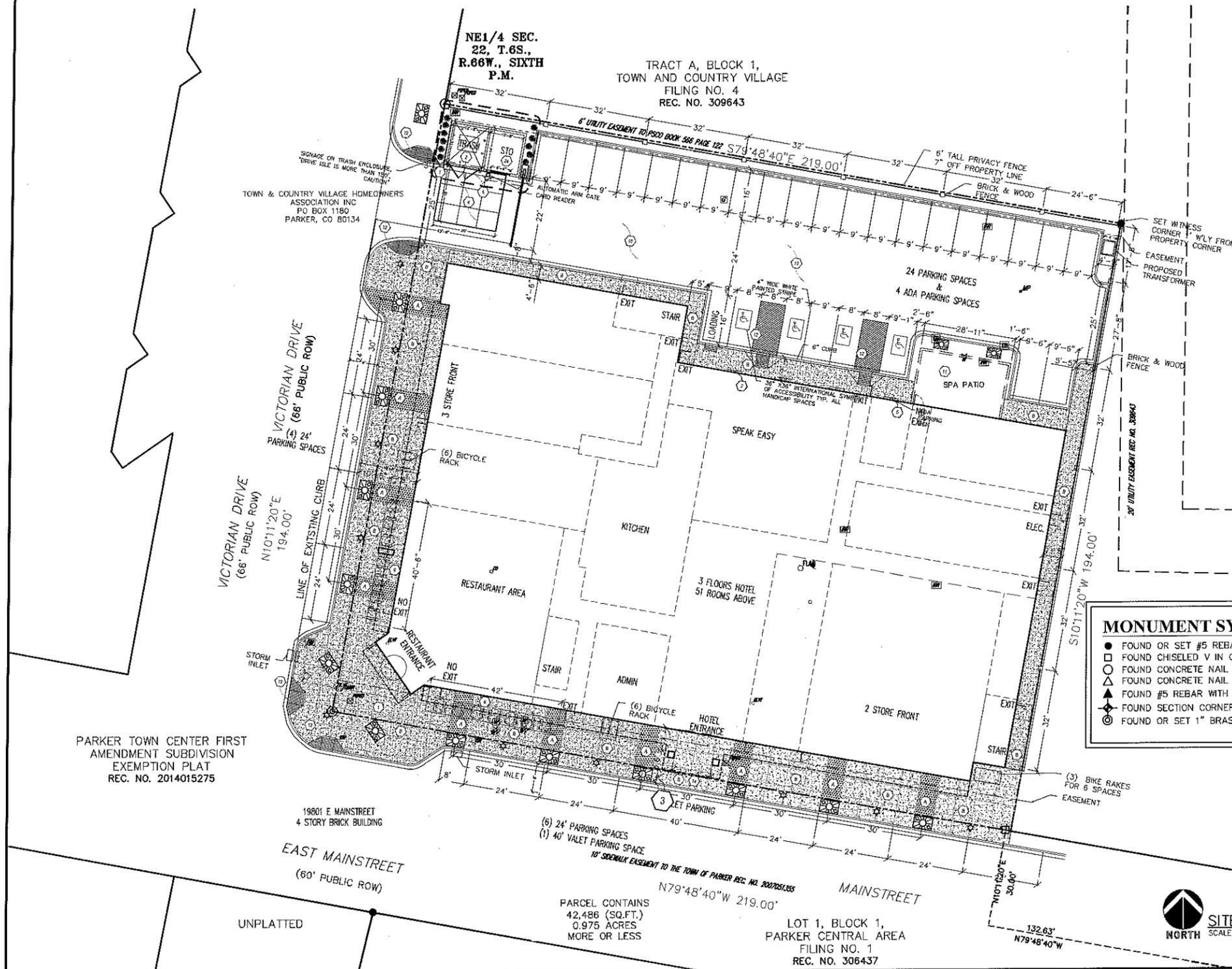
SCALE: 1" = 500'-0"

SITE DATA		
GROSS SITE AREA (975 ACRES)	42,471 SQ FT	100%
• BUILDING FOOTPRINT	23,998 SQ FT	24.00%
• PARKING / ROADS	8,416 SQ FT	20.42%
HARDSCAPE TOTAL	32,414 SQ FT	32.42%
• PLANT AREA	1,005 SQ FT	1.0%
• SIDEWALKS	9,052 SQ FT	9.05%
• EXISTING VEGETATION	0 SQ FT	0.0%
LANDSCAPE TOTAL	10,057 SQ FT	10.05%
• OVERALL BUILDING 4 STORIES	53,153 SQ FT	
PARKING		
• REQUIRED	0 SPACES	
• PROVIDED	28 SPACES	
• HANDICAP REQUIRED	4 SPACES (1-VAN)	
• HANDICAP PROVIDED	4 SPACES (1-VAN)	

PROJECT DATA	
<b>SITE INDEX</b>	<b>CONTACT LIST</b>
C-1 COVER SHEET C-2 SITE PLAN C-3 SITE DETAILS L-1 LANDSCAPE PLAN & DETAILS A-1 BUILDING ELEVATIONS A-2 BUILDING ELEVATIONS E-1 SITE PHOTOMETRIC PLAN E-2 ELECTRICAL FIXTURES E-3 ELECTRICAL CHECK	<b>OWNER</b> MAIN STREET PIER, LLC 19801 E. MAIN STREET PARKER, CO 80138 PHONE 720-851-2881  <b>ELECTRICAL ENGINEER</b> JCN ENGINEERING, INC. 3281 ROUTT ST. WHEAT RIDGE, CO 80033 303-239-0736
<b>STREET ADDRESS</b> 19801 E. MAIN STREET PARKER, CO 80138	<b>ARCHITECT</b> ASSOCIATED ARCHITECTS LLC P.O. BOX 33034 DENVER, CO 80233 303-691-5353
<b>LEGAL DESCRIPTION:</b> LOT 1, BLOCK 1, PARKER CENTRAL AREA FILING NO. 1 REC. NO. 306431	<b>LANDSCAPE ARCHITECT</b> ASTRA ENGINEERING 1887 E. BELLEVUE AVE. SUITE 1100 ENGLEWOOD, CO 80111 PHONE 303-523-3664
<b>BENCHMARK:</b> SET WITNESS CORNER 1" W/LY FROM PROPERTY CORNER	
<b>BASIS OF BEARING:</b> NE CORNER 1/4 SECTION 22, T6S, R66W, SIXTH PM, FOUND 3-1/4" DIA. ALUMINUM CAP MOUNTED STAMPED AZTEC CONSTRUCTION INC. 2003 LS 17666	
<b>UTILITY PROVIDERS:</b>	
WATER:	PARKER WATER & SANITARY DISTRICT
SANITARY:	PARKER WATER & SANITARY DISTRICT
GAS:	EXCEL ENERGY
ELECTRIC:	IREA
TELEPHONE:	CENTURY LINK

**ASSOCIATED**  
P. O. BOX 33034  
DENVER, COLORADO 80233  
**ARCHITECTS**  
PHONE: (303) 691-5353  
FAX: (303) 691-5018  
Email: aa@associatedarchitects.net

**MAIN STREET PIER, LLC  
FORMAL SITE DEVELOPMENT PLANS**  
A NEW RESTAURANT, RETAIL SPACE AND 51 RM BOUTIQUE HOTEL  
A PARCEL OF LAND LOCATED IN THE NORTH EAST QUARTER OF SECTION 22,  
TOWNSHIP 6S, RANGE 66 WEST  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO  
19801 E. MAIN STREET



**TOPOGRAPHIC LEGEND**

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**LEGEND**

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**MONUMENT SYMBOL LEGEND**

- FOUND OR SET #5 REBAR WITH BLUE PLASTIC CAP STAMPED AZTEC LS 22561
- FOUND CHISELED V IN CONCRETE
- FOUND CONCRETE NAIL AND ILLEGIBLE BRASS TAG
- △ FOUND CONCRETE NAIL AND BRASS TAG STAMPED LS 37929
- ▲ FOUND #5 REBAR WITH YELLOW PLASTIC CAP STAMPED LS 35593
- ◆ FOUND SECTION CORNER AS NOTED
- ⊙ FOUND OR SET 1" BRASS TAG STAMPED LS 22561

**KEY NOTES:**

1. DECORATIVE NON-SLIP PAVING
2. DUMPSTER ENCLOSURE WITH GATE AND LOCKING HARDWARE - PROVIDE AREA SIGN
3. EXTERIOR GARDEN STORAGE AREA
4. REINFORCED CONCRETE PAD
5. CURB CUT & DRIVEWAY ACCESS - SIZE & LOCATE CURB CUTS & DRIVEWAYS PER LOCAL REQUIREMENTS - MAINTAIN APPROPRIATE SITE LINES
6. EXTERIOR DINING AREA - LOOSE FURNISHINGS
7. ACCESSIBLE ROUTE FROM ACCESSIBLE PARKING TO BUILDING ENTRANCE. PROVIDE A MINIMUM SLOPE OF MINIMUM 1:20 AND A CROSS SLOPE OF MAXIMUM 1:48 (AS RECOMMENDED). REFER TO HADG FOR FURTHER INFORMATION.
8. 4" HIGH 9" DIA. CONC. FEELED STL. BOLLARDS PAINTED TO MATCH SURFING COLOR F.S.-1 - REFER TO ELEV. FIN. KEY FOR PAINT COLOR
9. PROPOSED TRANSFORMER & CONCRETE PAD LOCATION - ADJUST LOCATION AS REQUIRED TO MEET LOCAL CODES & UTILITY ACCESS
10. ASPHALT OR CONC. PAVING SHALL COMPLY WITH LOCAL REQUIREMENTS. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. - COORDINATE SITE DRAINAGE & DETENTION BY CIVIL ENGINEER
11. EXTERIOR FIRE FIT WITH MANUAL EMERGENCY SHUT-OFF VALVE. SECURE IN PLACE TO RESTRICT MOVEMENT. FEED WITH UNDERGROUND LINE FROM BUILDING GAS SERVICE. PROVIDE APPROPRIATELY SIZED SAFETY SCREEN.
12. ACCESSIBLE ROUTE TO PUBLIC RIGHT OF WAY (1 REQUIRED). MAX. FINISH SLOPE OF 1:20 AND MIN. CROSS SLOPE OF 1:48 (AS RECOMMENDED). ALL PAVED SURFACES, CURB RAMP AND TRANSITIONS ALWAYS PATH TO MEET ACCESSIBILITY REQS
13. PARKING LOT & DRIVEWAY LIGHTING MUST BE POLE MOUNTED. MAX. 30' TALL. HIGH EFFICIENT, 4' LONG LIFE BRANDED UPON FLUORESCENT, METAL HALIDE OR SON LAMPS. OTHER TECHNOLOGY WILL BE CONSIDERED.
14. FLUSH CURB ALONG ENTIRE LENGTH OF ACCESSIBLE DROP OFF

**GENERAL NOTES:**

1. BLDG. LIMITATIONS, AREA REQUIREMENTS, & SETBACKS ARE TO CONFORM TO APPLICABLE CODES AS DETERMINED BY LOCAL JURISDICTION.
2. PROVIDE FIRE ACCESS LANE AS REQUIRED BY APPLICABLE CODES AS DETERMINED BY LOCAL JURISDICTION.
3. PROVIDE APPROPRIATE NUMBER OF CURB CUTS AND DRIVEWAY ACCESS WIDTHS TO SITE AS REQUIRED BY APPLICABLE CODES AS DETERMINED BY LOCAL JURISDICTION.
4. TYP. PARKING SPACE SIZES SHALL BE AS RECD BY APPLICABLE CODES AS DETERMINED BY LOCAL JURISDICTION. 9'x18' MIN.
5. COORDINATE LIGHTING LOCATIONS WITH LANDSCAPE PLANTINGS - PROVIDE PHOTOMETRIC ANALYSIS AS RECD BY APPLICABLE CODES.
6. ALL SITE DIMENSIONS ARE MINIMUM REQUIREMENTS. COMPLY WITH APPLICABLE CODES AS DETERMINED BY LOCAL JURISDICTION.
7. PROVIDE HOTEL CURB EVERY 50' AROUND MAIN BUILDING PERMETER AND AT DUMPSTER ENCLOSURE.
8. PROVIDE AN ACCESSIBLE MEANS OF TRAVEL TO SITE PROPERTY LINE THAT MEETS ALL ACCESSIBILITY REQUIREMENTS.
9. CATCH BASINS ARE TO BE PLACED SO AS NOT TO INTERFERE WITH DESIGNATED ACCESSIBLE ROUTES, THEIR CLEARANCES & MAX. SLOPES.
10. PARKING LOT STRIPES MUST BE WHITE, EXCEPT WHERE OTHER COLORS ARE REQUIRED FOR FIRE LANES & NO PARKING ZONES.

**MATERIAL LEGEND:**

	PAVING (A) COLORED CONCRETE WITH EXPOSED AGGREGATE FINISH
	PAVING (B) STAMPED CONCRETE, COLORED TO MATCH PAVING #1

PARKER TOWN CENTER FIRST AMENDMENT SUBDIVISION EXEMPTION PLAT REC. NO. 2014015275

19801 E MAINSTREET 4 STORY BRICK BUILDING  
EAST MAINSTREET (60' PUBLIC ROW)  
UNPLATTED

PARCEL CONTAINS 42,486 (SQ.FT.) 0.975 ACRES MORE OR LESS

LOT 1, BLOCK 1, PARKER CENTRAL AREA FILING NO. 1 REC. NO. 306437

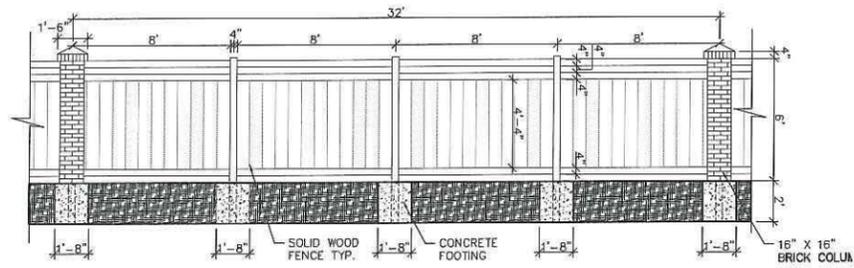
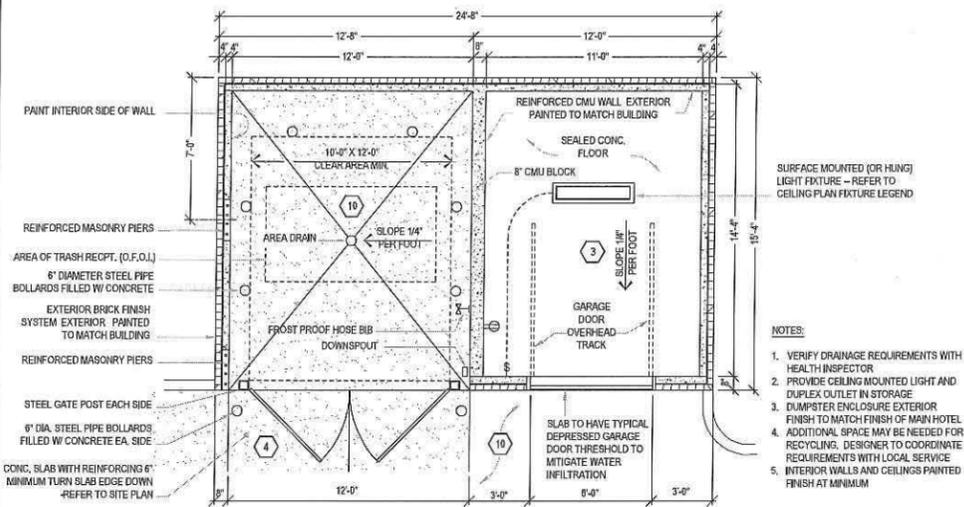


C-2  
OCTOBER 15TH, 2016  
SHEET 2 OF 9

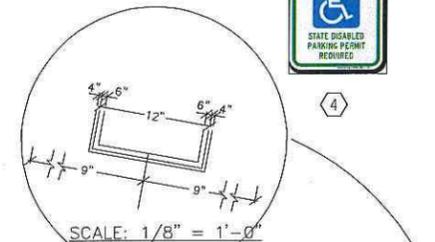
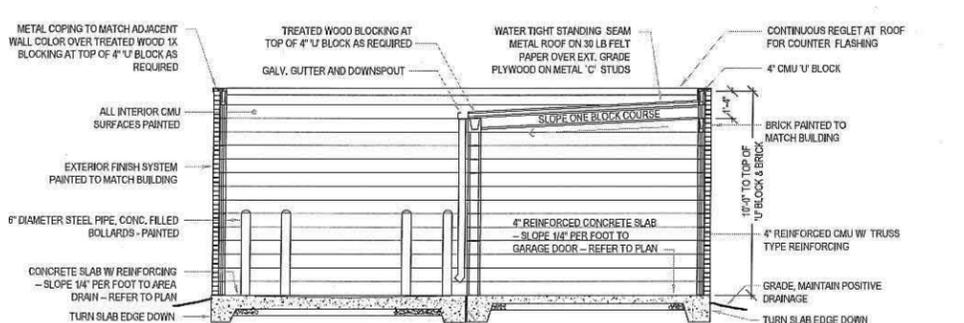
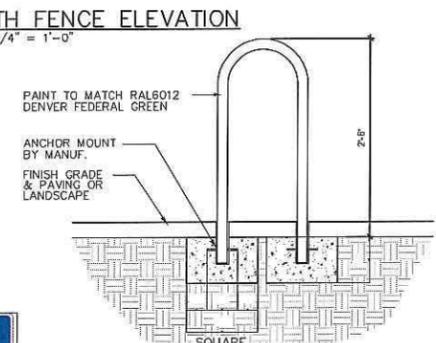
MAIN STREET PIER, LLC

**ASSOCIATED ARCHITECTS**  
P. O. BOX 33034  
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PHONE: (303) 691-5353  
FAX: (303) 691-5018  
Email: aa@associatedarchitects.net

**MAIN STREET PIER, LLC**  
**FORMAL SITE DEVELOPMENT PLANS**  
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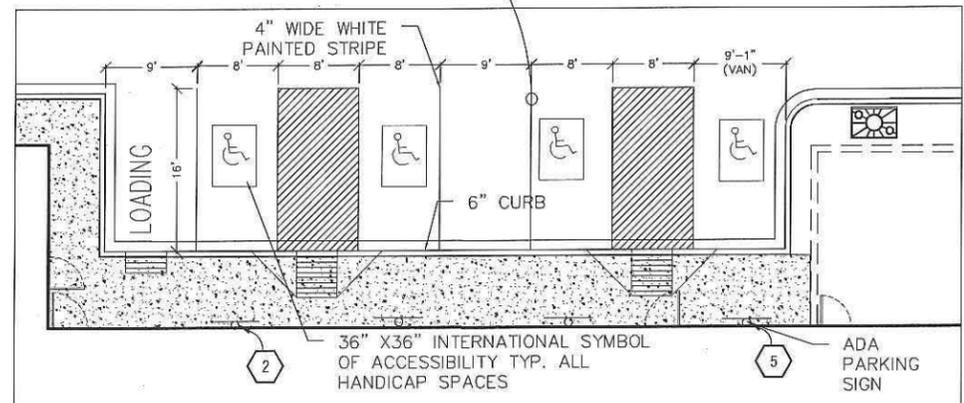
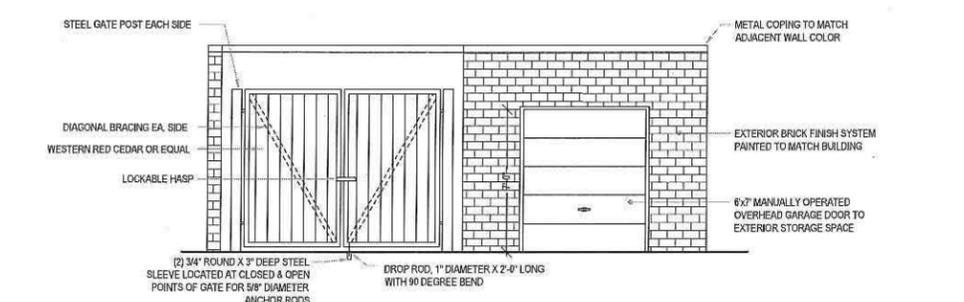
- KEY NOTES:**
1. DECORATIVE NON-SLIP PAVING
  2. DUMPSTER ENCLOSURE WITH GATE AND LOCKING HARDWARE - PROVIDE AREA DRAIN
  3. EXTERIOR GARDEN STORAGE AREA
  4. REINFORCED CONCRETE PAD
  5. CURB CUT & DRIVEWAY ACCESS - SIZE & LOCATE CURB CUTS & DRIVE ASILES PER LOCAL REQUIREMENTS - MAINTAIN APPROPRIATE SITE LINES
  6. EXTERIOR DINING AREA - LOOSE FURNISHINGS
  7. ACCESSIBLE ROUTE FROM ACCESSIBLE PARKING TO BUILDING ENTRANCE. PROVIDE A RUNNING SLOPE OF MAXIMUM 1:20 AND A CROSS SLOPE OF MAXIMUM 1:48 (1:54 RECOMMENDED). REFER TO MADO FOR FURTHER INFORMATION.
  8. 4" HIGH 6" DIA. CONC. FILLED STL. BOLLARDS PAINTED TO MATCH BUILDING COLOR (FS-1 - REFER TO ELEV. FIN. KEY FOR PAINT COLOR)
  9. PROPOSED TRANSFORMER & CONCRETE PAD LOCATION - ADJUST LOCATION AS REQUIRED TO MEET LOCAL CODES & UTILITY ACCESS
  10. ASPHALT OR CONC. PAVING SHALL COMPLY W/ LOCAL REQUIREMENTS - PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. - COORDINATE SITE DRAINAGE & DETENTION W/ CIVIL ENGINEER
  11. EXTERIOR FIRE PIT WITH MANUAL EMERGENCY SHUT-OFF VALVE. SECURE IN PLACE TO RESIST MOVEMENT. FEED WITH UNDERGROUND LINE FROM BUILDING GAS SERVICE. PROVIDE APPROPRIATELY SIZED SAFETY SCREEN.
  12. ACCESSIBLE ROUTE TO PUBLIC RIGHT OF WAY (1 REQUIRED). MAX. RUNNING SLOPE OF 1:20 AND MAX. CROSS SLOPE OF 1:48 (1:54 RECOMMENDED). ALL PAVED SURFACES, CURB RAMPS AND TRANSITIONS ALONG PATH TO MEET ACCESSIBILITY REQ'S
  13. PARKING LOT & DRIVEWAY LIGHTING MUST BE POLE MOUNTED, MAX 20' TALL, HIGH ENERGY EFFICIENT, & LONG LIFE (BASED UPON FLUORESCENT, METAL HALIDE OR LED LAMPS, OTHER TECHNOLOGY WILL BE CONSIDERED).
  14. FLUSH CURB ALONG ENTIRE LENGTH OF ACCESSIBLE DROP OFF



- SIGNS:**
1. STOP SIGN (36"x36")
  2. HANDICAP PARKING ONLY (6"x12")
  3. NO PARKING - FIRE LANE (18"x24")
  4. VALET PARKING ONLY (12"x8")
  5. VAN ACCESSIBILITY (6"x12")

- NOTES:**
1. DRIVES & PARKING LOTS ARE ASPHALT WITH 6" VERTICAL CURB & CUTTER UNLESS OTHERWISE NOTED
  2. SEE GEOPOLITICAL REPORT FOR PAVEMENT DESIGN
  3. SIGNAGE & STRIPING ARE FOR REFERENCE ONLY, NOT FOR CONSTRUCTION.

- NOTES:**
1. MINIMUM STALL SHALL BE 9'-0" HANDICAP SPACES SHALL BE 16'-0" (8' STALL ON BOTH SIDES OF 8' STRIPED MEDIAN)
  2. STRIPING SHALL BE 4" WIDE & SHALL BE PAINTED WITH A NON-REFLECTORIZED WHITE PAINT



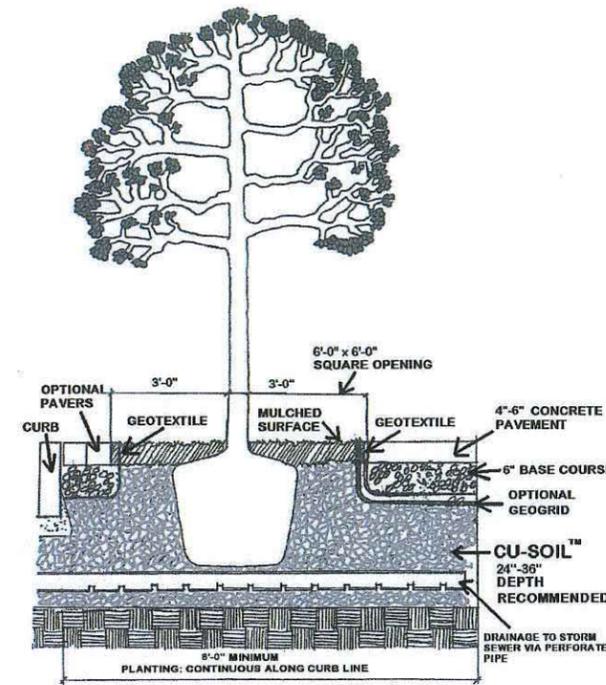
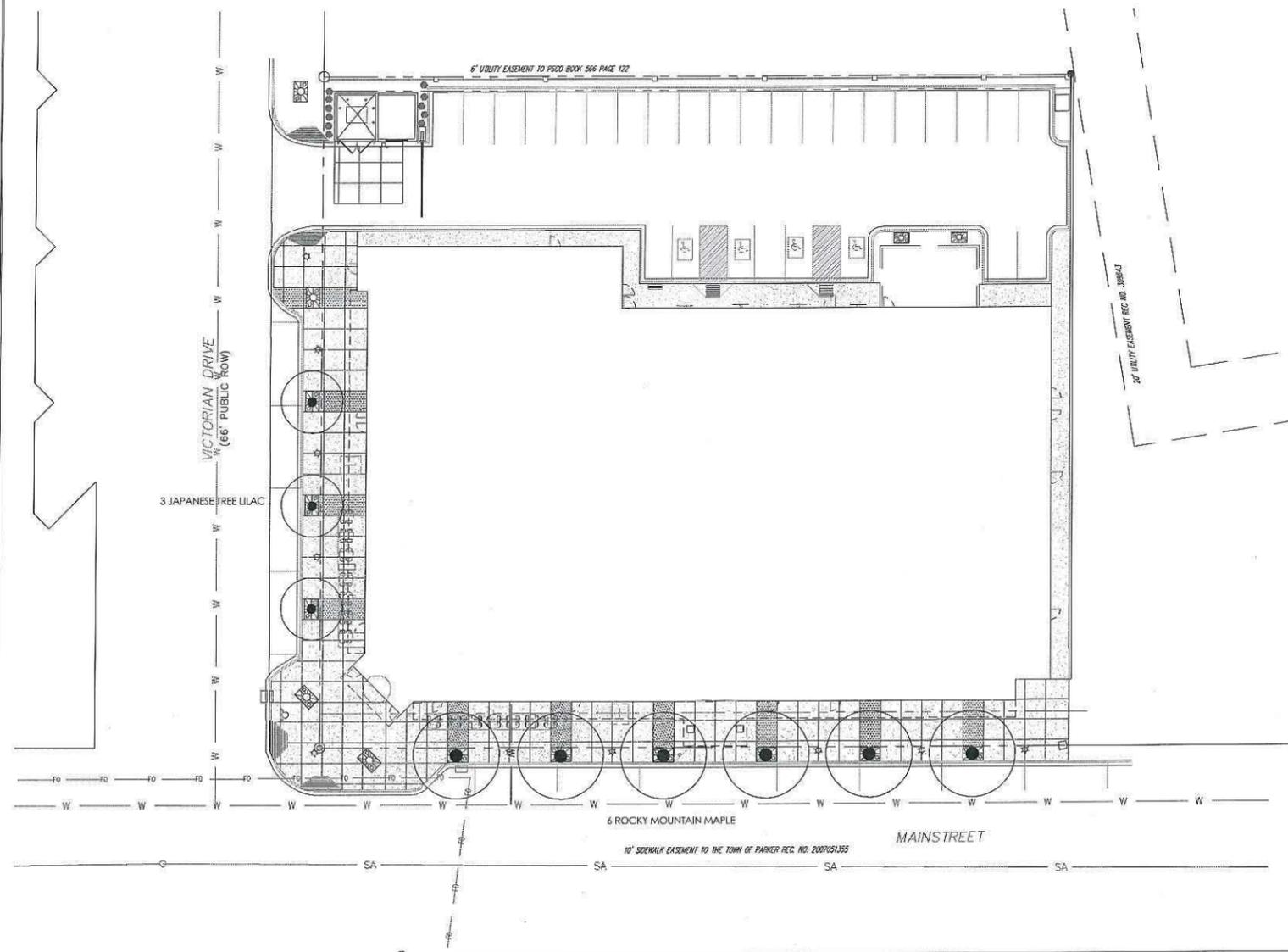
**ASSOCIATED ARCHITECTS**  
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 Email: aa@associatedarchitects.net

**MAIN STREET PIER, LLC**  
**FORMAL SITE DEVELOPMENT PLANS**  
 A NEW RESTAURANT, RETAIL SPACE AND 51 RM BOUTIQUE HOTEL  
 A PARCEL OF LAND LOCATED IN THE NORTH EAST QUARTER OF SECTION 22,  
 TOWNSHIP 6S, RANGE 66 WEST  
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO  
 19801 E. MAIN STREET



**LEGEND**

- SPECIES
- BIGTOOTH MAPLE/ ACER GRANDIDENTIATUM
  - JAPANESE LILAC / STRINGA RETICULATA



**NOTES:**

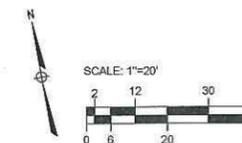
1. ALL LANDSCAPED AREAS SHALL BE WATERED BY AN AUTOMATIC IRRIGATION SYSTEM USING THE WATER CONSERVATION PRACTICES OUTLINED BY DOUGLAS COUNTY. DRIP IRRIGATION SHALL BE USED IN ALL SHRUB BEDS. THE IRRIGATION WATER IS PROVIDED BY PARKER WATER AND SANITATION DISTRICT.

ALL BALLED AND BURLAPPED PLANT MATERIALS SHALL HAVE ALL WIRE, TWINE, BURLAP (MIN. TOP 1/3) OR OTHER CONTAINMENT MATERIAL REMOVED FROM THE TRUNK AND ROOT BALL OF THE PLANT PRIOR TO PLANTING.

IF ANY TRANSFORMERS, GROUND-MOUNTED HVAC UNITS, UTILITY PEDESTALS, AND SIMILAR FEATURES ARE NOT SHOWN ON THE SIP, ADDITIONAL LANDSCAPING AND SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DURING THE SITE INSPECTION PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, OR FINAL INSPECTION, AS APPLICABLE.

**MAINTENANCE NOTE:**

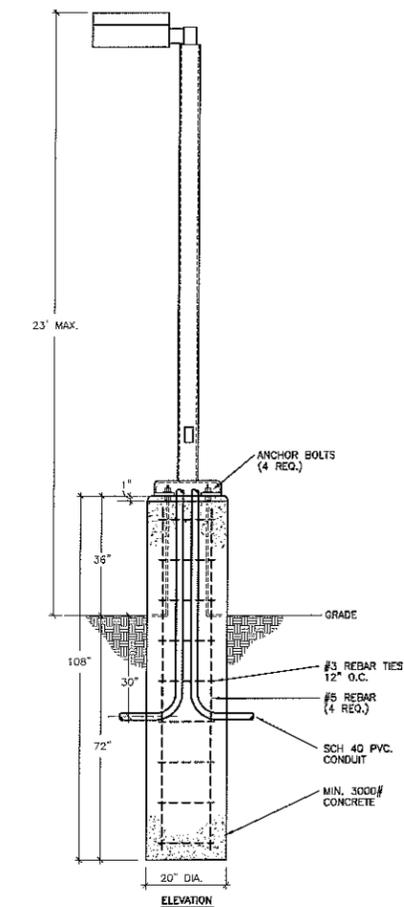
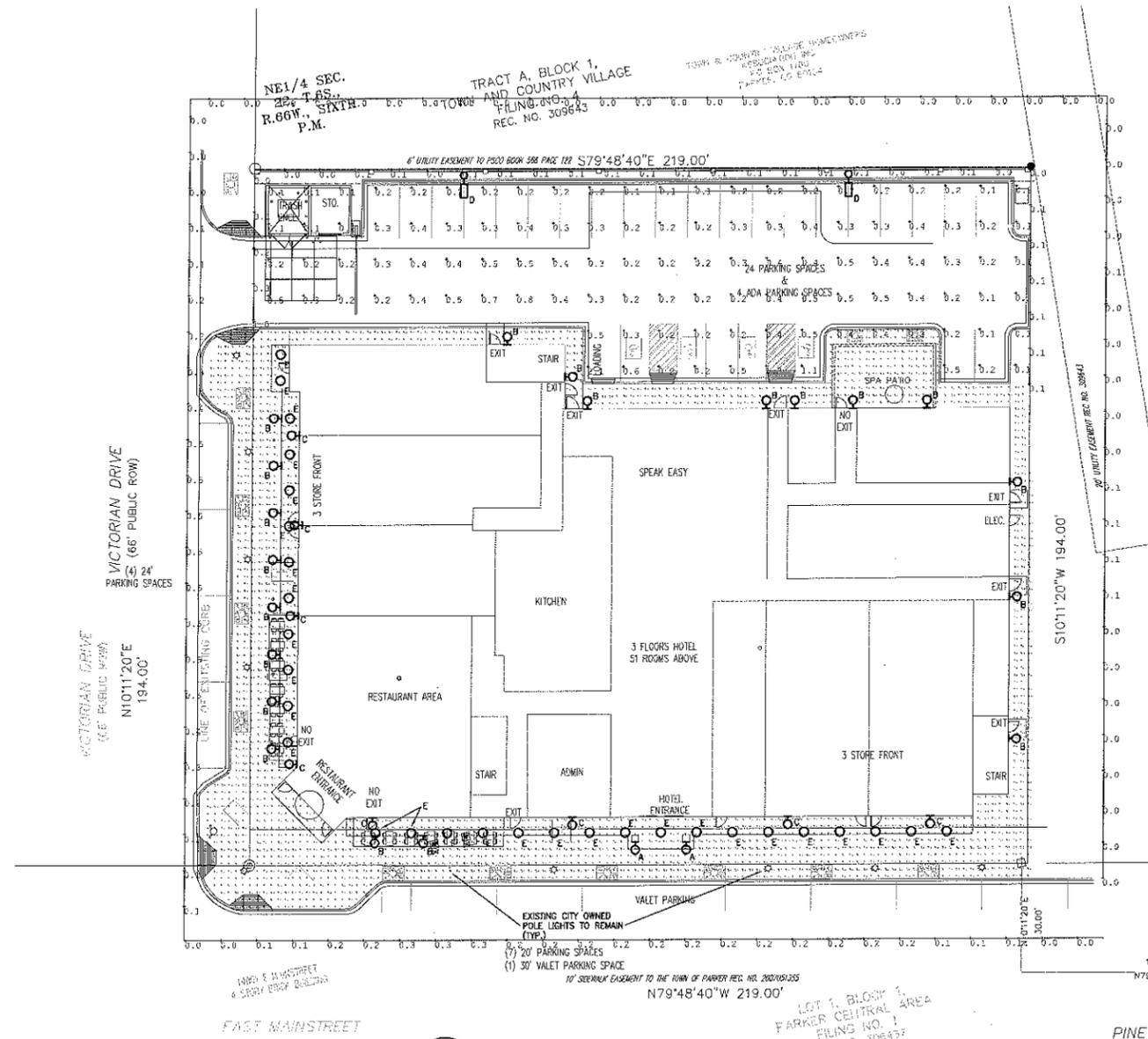
LANDSCAPE SHALL BE PLANTED AND MAINTAINED BY THE OWNER, SUCCESSOR, AND/OR ASSIGNS. SHOULD ANY PLANT MATERIAL DIE, IT SHALL BE REPLACED WITH SIMILAR PLANT MATERIAL WITHIN ONE PLANTING SEASON.



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**LANDSCAPE PLAN**  
 OCTOBER 15TH, 2016  
 SHEET 6 OF 6

**MAIN STREET PIER, LLC**  
**FORMAL SITE DEVELOPMENT PLANS**  
**A NEW RESTAURANT, RETAIL SPACE AND 51 RM BOUTIQUE HOTEL**  
**A PARCEL OF LAND LOCATED IN THE NORTH EAST QUARTER OF SECTION 22,**  
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**19801 E. MAIN STREET**



FIXTURE SCHEDULE						
KEY	LAMP(S)	DESCRIPTION	FINISH	VOLT	MOUNTING	CAT. NO.
A	8.5W/45lm LED 3000K	LED OPAL GLASS WALL SCONCE WITH INTEGRAL DRIVER	BRONZE	120	WALL	BEGA 803M1218-BRZ
B	10.5W/87lm LED 3000K	LED WALL SCONCE WITH SHADE AND INTEGRAL DRIVER	BRONZE	120	WALL	BEGA 6531149Z
C	15W LED 3000K	ARCHITECTURAL WALL MOUNT LED FIXTURE - 33.5" FROM WALL MOUNT TO FIXTURE EDGE	BRONZE	120	WALL	TMS LIGHTING OS-4W-0-18LED-30K-120VIMF21
D	35W/560lm LED 3000K	ARCHITECTURAL LED PARKING LOT FIXTURE WITH INTEGRAL DRIVER AND BACKLIGHT CONTROL, MOUNTED ON A SQUARE STEEL POLE	DARK BRONZE	120	20' POLE ON RAISED BASE	SPALDERS GL13A-18-1J3K-3-08 B2POLE 3000K-30-08 A-4-82DB
E	17W/103lm LED 3000K	7" ROUND SURFACE MOUNT LED	WHITE	120	SURFACE	PREBOLITE LEDLDA1A1L-30W-WH

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
20' from Property Line	Illuminance	Fc	0.12	0.5	0.0	N.A.	N.A.
Parking Lot_Planar	Illuminance	Fc	0.31	2.1	0.1	3.10	21.00
Property Line	Illuminance	Fc	0.12	1.0	0.0	N.A.	N.A.
Sidewalk around building_Planar	Illuminance	Fc	3.48	22.8	0.0	N.A.	N.A.

**JCN Engineering, Inc.**  
 2241 Routt St., Wheat Ridge, CO 80033  
 (303) 239-0736

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19801 E. MAIN STREET**

**COMcheck Software Version 4.0.2.8  
Exterior Lighting Compliance Certificate**

**Project Information**  
 Energy Code: 2012 IECC  
 Project Title: Main Street Pier, LLC  
 Project Type: New Construction  
 Exterior Lighting Zone: 4 (High activity metropolitan commercial district)

**Contractor Site:** 19801 E. Main Street, Parker, CO  
**Design/Contractor:** Jeff Hinkle, ICN Engineering, Inc., 1325 Aspen St., Wheat Ridge, CO 80033, 303-239-0736

Area/Surface Category	Quantity	Allowed Watts/Fixture	Proposed Watts/Fixture	Allowed Watts (B X C)
Lighting on each parking area	800 sq	212	254	169600
		Total Proposed Watts (d)	254	169600
		Total Allowed Watts (e)	169600	169600

(d) Watts (b) x (c) x (d) = (e) Total Allowed Watts (e) = 169600  
 (e) A supplemental allowance equal to 1700 watts may be applied to each of both non-reflective and reflective surfaces.

**Proposed Exterior Lighting Power**

Fixture ID / Description / Lamp / Wattage Per Lamp / Ballast	Lamps/Fixture	# of Fixtures	Watt. (C X D)
parking on north / parking area 8000 sq ft / Tridacole Wattage			
LED 1 ft x 4 ft pole mount wall sconce LED Other Fixture 15W	1	2	30
LED 2 ft x 4 ft wall sconce Other	1	20	11
LED 3 ft x 4 ft wall sconce LED Other Fixture 15W	1	4	15
LED 4 ft x 4 ft pole mount LED Other Fixture 15W	1	2	30
LED 5 ft x 4 ft pole mount LED Other Fixture 15W	1	20	17
north and east / Other door door area 27.8 ft x door width / Tridacole Wattage			
west and south / Walkway 10 ft x 10 ft door width / Tridacole Wattage			
north / Walkway 10 ft x 10 ft door width / Tridacole Wattage			
Total Proposed Watts =			872

Project Title: Main Street Pier, LLC Report date: 09/30/16  
 Data filename: C:\Users\jeh\Documents\ICN Projects\1635 Main Street Pier for Lighting\COMcheck exterior Page 1 of 6

**Exterior Lighting PASSES: Design 76% better than code**

**Exterior Lighting Compliance Statement**  
 Compliance Statement: The proposed exterior lighting design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed exterior lighting systems have been designed to meet the 2012 IECC requirements in COMcheck Version 4.0.2.8 and to comply with the mandatory requirements listed in the Inspection Checklist.

Jeff Hinkle, President  
 Name: Title: *Jeff Hinkle* Date: 9/30/16

Project Title: Main Street Pier, LLC Report date: 09/30/16  
 Data filename: C:\Users\jeh\Documents\ICN Projects\1635 Main Street Pier for Lighting\COMcheck exterior Page 2 of 6

**COMcheck Software Version 4.0.2.8  
Inspection Checklist**  
 Energy Code: 2012 IECC

Requirements: 0.0% were addressed directly in the COMcheck software  
 Text in the "Comments/Assumptions" column is provided by the user in the COMcheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exception is being claimed. Where compliance is itemized in a separate table, a reference to that table is provided.

Section # & Req. ID	Plan Review	Compliant?	Comments/Assumptions
C103.2 (R607)	Plans, specifications, and/or calculations provide all information with which compliance can be determined for the electric lighting and electrical systems and equipment and document where exceptions to the standard are claimed. Information provided should include exterior lighting power calculations, wattage of ballast and ballasts, transformers and control devices.	<input checked="" type="checkbox"/> Compliant <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2 (R608)	Plans, specifications, and/or calculations provide all information with which compliance can be determined for the additional energy efficiency package options.	<input checked="" type="checkbox"/> Compliant <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)

Project Title: Main Street Pier, LLC Report date: 09/30/16  
 Data filename: C:\Users\jeh\Documents\ICN Projects\1635 Main Street Pier for Lighting\COMcheck exterior Page 3 of 6

Section # & Req. ID	Field Inspection	Compliant?	Comments/Assumptions
C405.2.4 (R1217)	Automatic lighting controls for exterior lighting installed.	<input checked="" type="checkbox"/> Compliant <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	see electrical plans to follow
C405.6 (R1247)	Exterior grounds lighting over 300 W provides 140 lm/W unless on motion sensor or fixture is exempt from scope of code or from external LFD.	<input checked="" type="checkbox"/> Compliant <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	11

Additional Comments/Assumptions:

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)

Project Title: Main Street Pier, LLC Report date: 09/30/16  
 Data filename: C:\Users\jeh\Documents\ICN Projects\1635 Main Street Pier for Lighting\COMcheck exterior Page 4 of 6

Section # & Req. ID	Field Inspection	Compliant?	Comments/Assumptions
C405.2.2 (R1219)	Exterior lighting power is consistent with what is shown on the approved lighting plans, demonstrating proposed watts are less than or equal to allowed watts.	<input checked="" type="checkbox"/> Compliant <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Exterior Lighting fixture schedule for values.
C109.3 (R1461)	Lighting systems have been tested to ensure proper calibration, adjustment, programming, and operation.	<input checked="" type="checkbox"/> Compliant <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405 (R1249)	Efficient HVAC performance, efficient lighting systems or on-site supply of renewable energy consistent with what is shown on the approved plans.	<input checked="" type="checkbox"/> Compliant <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)

Project Title: Main Street Pier, LLC Report date: 09/30/16  
 Data filename: C:\Users\jeh\Documents\ICN Projects\1635 Main Street Pier for Lighting\COMcheck exterior Page 5 of 6

Project Title: Main Street Pier, LLC Report date: 09/30/16  
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**ICN Engineering, Inc.**  
 3281 Mount St., Wheat Ridge, CO 80033  
 (303) 239-0736

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MAIN STREET PIER, LLC  
 FORMAL SITE DEVELOPMENT PLANS  
 A NEW RESTAURANT, RETAIL SPACE AND 51 RM BOUTIQUE HOTEL  
 A PARCEL OF LAND LOCATED IN THE NORTH EAST QUARTER OF SECTION 22,  
 TOWNSHIP 6S, RANGE 66 WEST  
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO  
 19801 E. MAIN STREET

**EXTERIOR ELEVATIONS GENERAL NOTES**

1. REFER TO PLAN VIEWS FOR WINDOW & DOOR DIMENSIONS & LOCATIONS
2. ALL COLOR SELECTIONS BELLOW TO BE VERIFIED WITH OWNER



**EXTERIOR ELEVATIONS LEGEND**

- 1 GENERAL SHALE "OLD WATERLODGE"
- 2 GENERAL SHALE "RAPPINTON"
- 3 GENERAL SHALE "OLD CARBONJALL"
- 4 METAL SALES CO. DARK BRONZE
- 5 METAL SALES CO. "OLD ZINC GREY"
- 6 TMS LIGHTING "ORTE"
- 7 LEGAS US "ROOM 1218"
- 8 LEGAS US "6641"

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OCTOBER 15TH,  
 2016  
 SHEET 5 OF 9

MAIN STREET PIER,  
 LLC

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EXTERIOR ELEVATIONS LEGEND

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- ② GENERAL SHALE "PARRINTON"
- ③ GENERAL SHALE "OLD CARBONDALE"
- ④ METAL SALES CO. DARK BRONZE
- ⑤ METAL SALES CO. "OLD ZINC GREY"
- ⑥ TMS LIGHTING "FORTE"
- ⑦ BEGAS US "BOOM "218"
- ⑧ BEGAS US "6641"

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A-2C

OCTOBER 15TH,  
 2016  
 SHEET 6 OF 9

MAIN STREET PIER,  
 LLC

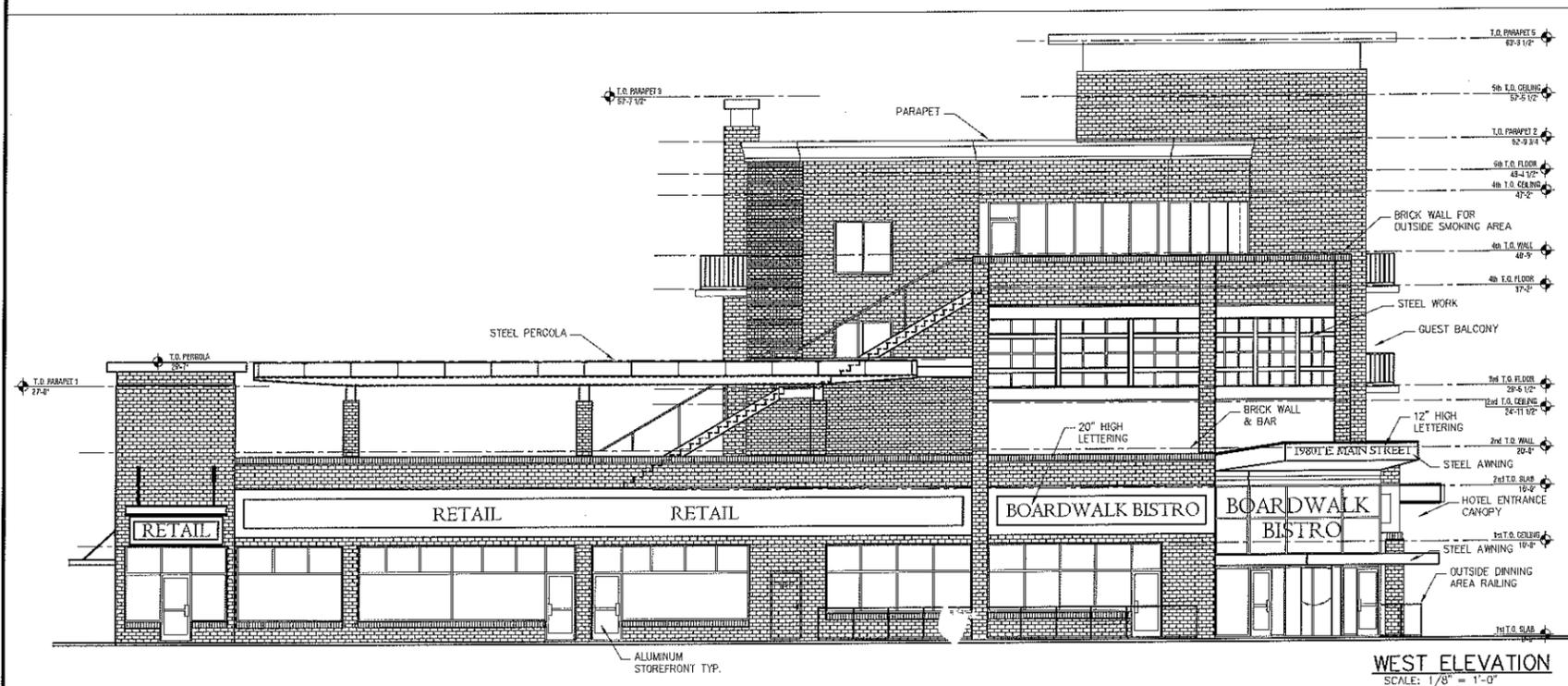
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**EXTERIOR ELEVATIONS GENERAL NOTES**

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2. ALL COLOR SELECTIONS BELOW TO BE VERIFIED WITH OWNER



**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

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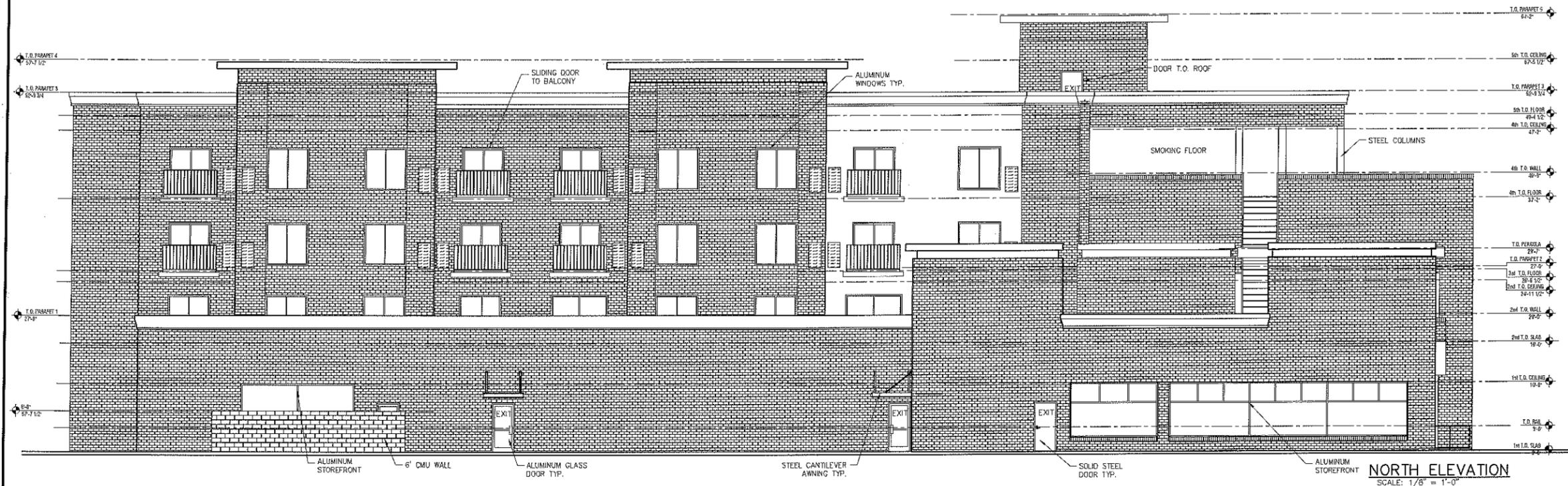
A-1  
OCTOBER 15TH,  
2016  
SHEET 5 OF 9

MAIN STREET PIER,  
LLC

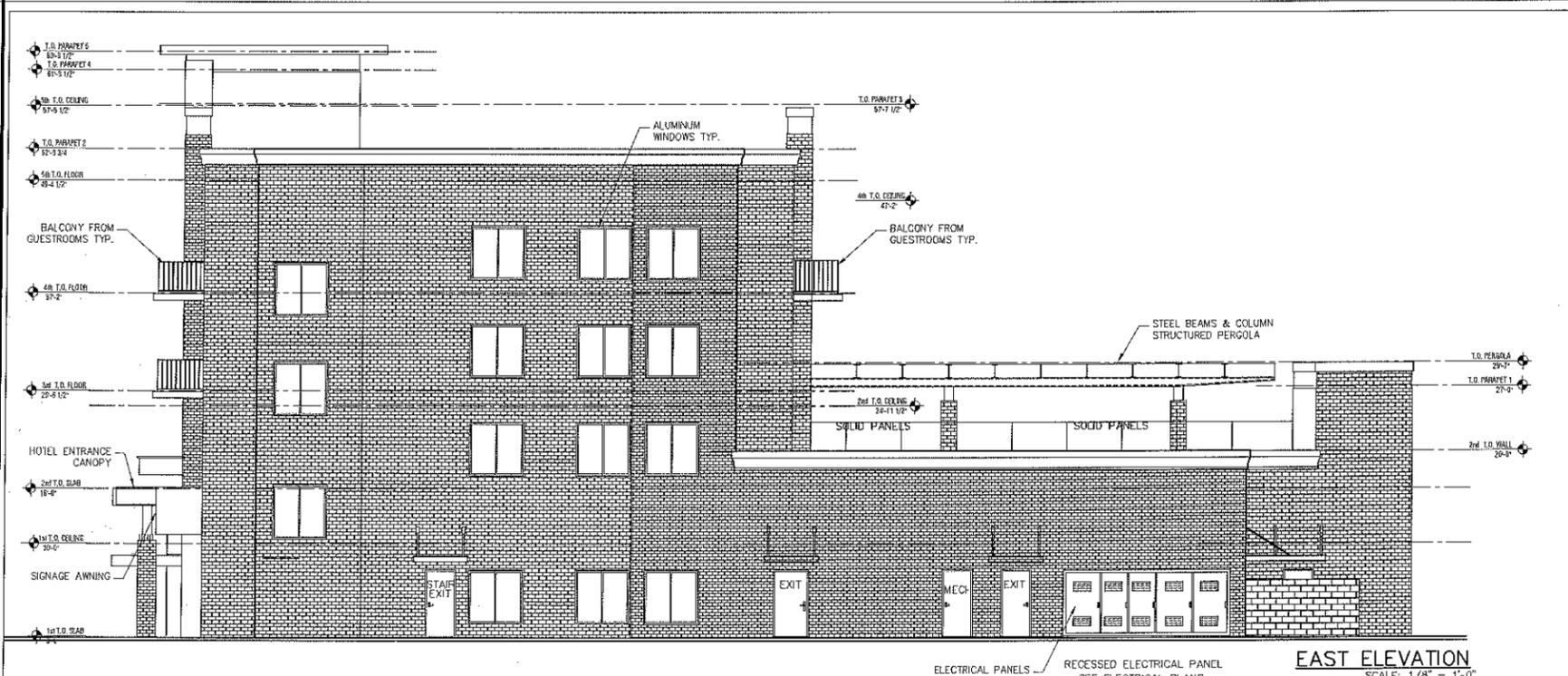
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**EXTERIOR ELEVATIONS GENERAL NOTES**

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2. ALL COLOR SELECTIONS BELOW TO BE VOUCHERED WITH OWNER



**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"

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A-2

OCTOBER 15TH,  
2016  
SHEET 6 OF 9

MAIN STREET PIER,  
LLC



Your kind of place.

## Memorandum

**To:** Patrick Mulready, Senior Planner

**Date:** November 18, 2016

**From:** Alex Mestdagh, P.E., Engineering Services Manager *ALM*  
Kurt Patrick, P.E., Stormwater Engineer

**Cc:** Tom Williams, P.E., Engineering Director

**Subject:** Parker Central Area Filing 1 Lot 1 – Parker Place Hotel

The Engineering Department has reviewed the documents submitted for Parker Central Area Filing 1 Lot 1. The submittal consisted of the following documents:

<u>Document</u>	<u>Date Received</u>
Construction Plans	October 15, 2016

The site is located at the northeast corner of the intersection of Mainstreet and Victorian Drive. Based on our review we have the following comments:

1. The applicant will be required to financially secure the Public Improvements associated with this project via the project agreements. The Public Improvements will include all improvements within the public right-of-way. Please submit a cost estimate for these items with the next submittal – see the Standard Cost Estimate Template, Appendix B of the Roadway Criteria Manual, for standard soft cost percentages. Please include a line item for the restoration of the Victorian Drive utility street cut.
2. Please include the Town's Engineering signature block on all sheets. This has been uploaded to eTrakit for your use.
3. Add the following notes to the utility plans where street cuts are required for utility tie-ins:

*"The proposed utility connection will require a Town right-of-way permit prior to commencing work. The Town prefers connections to be bored to the extent possible, and any street cut allowed by the Town will be required to be patched according to the Town's construction standards and details. The limits of patching will be determined by the Town at the time of construction. The Town of Parker does not allow roadway closures for utility work."*

4. A note indicates that three water service lines will be connected under Mainstreet, please show these locations and add the previously mentioned note.
5. Provide detail regarding the removal of the existing entrance from Mainstreet and limits of pavement/curb and gutter removal and replacement.
6. Provide a horizontal control plan detailing and dimensioning the infrastructure elements of the project.
7. Clarify the limits of paving on the site entrance with Victorian. Provide intersection details per Town Standard Detail 32 as necessary.
8. Provide signing and striping information for the site entrance and any modifications/additions to on-street parking areas on public roads.
9. Please submit a short drainage conformance letter providing the proposed imperviousness and flows generated by this site.
10. Please submit a short traffic letter stating the trips proposed to be generated by this project and any potential impacts.
11. Include construction details for all elements of the project, specifically the streetscape section. This should include curb and gutter, tree grates, light poles, and other elements. Use the Town standard details from the Roadway Criteria Manual (Appendix A) where appropriate.
12. The proposed curb ramp at the Victorian/Mainstreet section should match the opposite corner rather than showing two directional ramps. Please revise and detail this ramp accordingly.
13. The grading along the east property line should be further analyzed and detailed. Please clarify how the area between the building and the property line will drain, and how any runoff entering the site from the adjacent property will be handled.
14. The Town requires that all storm sewer serving paved parking lots and accesses be designed of concrete structures and pipes. The grated inlet shown in the north parking lot would need to be a CDOT Type C inlet and RCP would need to be used from that point to the line's inlet connection. Roof drains are not held to this criteria and can be comprised of plastic pipe, so it may be preferred to remove the grated inlet.
15. On the initial CBMP plan show the site in its initial condition prior to improvements.

16. Add a note on all land adjacent to the project stating that no work shall occur in these areas.
17. Add ALL Town of Parker Notes and Details. Please include the entire page from our Criteria Manual and use a maximum of 8 notes per plan sheet. CBMP Notes and Details should be on separate plan sheets from other construction details.
18. Show Silt Fence connecting to the VTC.
19. Masonry Work Protection (MWP) should be shown within the limits of construction.
20. If it is to remain, include inlet protection for the grated inlet on the north side of the building.

Please address the following comments and resubmit the construction plans and technical reports. The submittal must be revised and re-submitted for review. All submittals should be through the Town Community Development Department, accompanied by a letter that responds to each comment herein. Direct submittals to the Engineering Department will not be accepted.

An attempt has been made to identify all of the items that do not meet the Town of Parker's design criteria; however, it remains the developer's responsibility to ensure that all criteria are met.

If you have any questions regarding the comments please do not hesitate to contact the Engineering Department at (303) 840-9546.



## Signature Review Blocks

The Town of Parker Signature Review Blocks, as shown below, shall be provided on all applicable construction plan sheets. See the Plan Sheet Submittal List (Appendix B) for reference.

### ENGINEERING REVIEW BLOCK

The Town of Parker review constitutes general compliance with the Town's Standards and approved variances, subject to these plans being stamped, signed, and dated by the professional engineer of record. Review by the Town does not constitute approval of the plan design or accuracy and correctness of engineering calculations. Errors in the design or calculations remain the responsibility of the registered professional engineer whose stamp and signature are affixed to this document.

This review does not constitute approval of any private on-site improvements which may be shown. Construction cannot commence until all required drainage/traffic report(s), final development plan(s), special review(s), grading permit, and/or other permits are complete, approved and on file with the Town of Parker.

---

Town of Parker, Director of Engineering

Date

### FIRE CODE REVIEW BLOCK

All fire hydrants shall be installed according to water utility standards. The number and locations of the fire hydrants as shown on the Overall Utility Plan are correct as specified by the Town of Parker, Community Development Department.

---

Fire Code Official or Designated Representative

Date

(NOTE – Underground Fire Line (UFL) submittal documents must meet the requirements of NFPA 24 when submitting for review.)

November 01, 2016

Mr. Patrick Mulready  
Town of Parker  
20120 E Mainstreet  
Parker CO 80138

Re: Parker Central Area F1 L1 Parker Place Hotel #SP16-086  
Site Plan 1<sup>st</sup> Referral  
PWSD Project #2016-079

Dear Mr. Mulready:

Thank you for forwarding the referral request for the above mentioned project. After a review of the documents submitted, the Parker Water & Sanitation District has the following comments:

**Paper Work Required Before Final Approval from PWSD**

- Submit an executed Standard Improvement Agreement with all required exhibits.
- A wet stamped and signed version of the Engineers Estimate with a 20% contingency must be submitted with the SIA.
- A Letter of Credit based on the approved Engineers Estimate must be submitted.
- PWSD Engineering Review/ Inspection Fees, Irrigation Review/Inspection Fees and Tap Fees are required to be paid before plan approval is granted.

**Water and Sewer Plan Comments**

- Dedicated electronic water and sanitary sewer construction plans, complete with details, cover sheet and signature blocks must be submitted to the Town of Parker's Trakit system for review.
- Submit the plumbing plans for the building(s) for verification and calculation of tap size (include engineer's fixture count worksheet). The District uses the 2009 IPC for sizing water taps.
- Include all necessary details to the construction plans.
- Submit completed PWSD Plan Requirements Checklist with the next submittal to ensure all plan requirements have been met. Checklist is available online at [www.pwsd.org](http://www.pwsd.org)

- Please call out a grease interceptor sampling manhole downstream of the grease interceptor. Please note two sanitary sewer lines will need to come out of the building one for the grease line and one that ties in downstream of the sampling manhole for the rest of the sanitary sewer building flow.
  - Please add sewer detail sheets 29-31.
- Please note PWSD requires dedicated domestic water and fire lines to be tapped from the main. Please call out dedicated lines on the plans along with the domestic and fire line tap sizes.
- Submit landscape/irrigation plans for verification and calculation of tap size(s) (include completed PWSD landscape worksheet-one worksheet per tap). PWSD Landscape/Irrigation worksheet is available online, at [www.pwsd.org/developer.html](http://www.pwsd.org/developer.html). The approved worksheet must be shown on the approved landscaped plans.

Please let us know if you have any question on the above comments. We look forward to the final submittal on this project.

Sincerely,  
Parker Water & Sanitation District

  
Drayton Sanderson  
Engineering Technician

**PWSD**



# CONSTRUCTION PLANS

A NEW RESTAURANT, RETAIL SPACE AND 51 RM BOUTIQUE HOTEL  
 NE ¼ OF SECTION 22, TOWNSHIP 6S, RANGE 66W  
 TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO

## DRAINAGE, GRADING & EROSION CONTROL

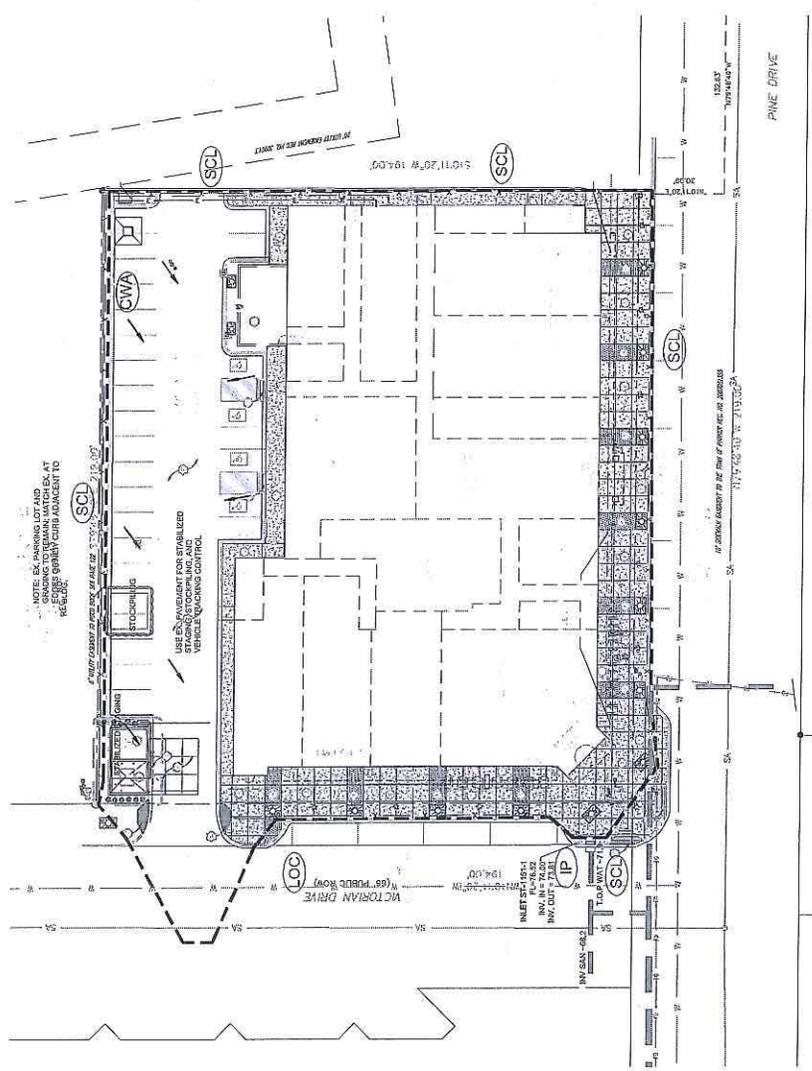
ASSOCIATED ARCHITECTS  
 P.O. BOX 33034  
 DENVER, CO. COLORADO 80233  
 PHONE: (303) 691-5353  
 FAX: (303) 691-5018  
 EMAIL: AARCHIT@AARCHITECTS.NET

ASSOCIATED ENGINEERING  
 P.O. BOX 33034  
 DENVER, CO. COLORADO 80233  
 PHONE: (303) 691-5353  
 FAX: (303) 691-5018  
 EMAIL: AARCHIT@AARCHITECTS.NET



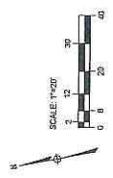
NEW RESTAURANT, RETAIL SPACE AND 51 RM BOUTIQUE HOTEL FOR:  
**MAIN STREET PIER, LLC**  
 19801 E MAIN STREET  
 PARKER, CO

DATE: 08-26-16  
 DRAWING: 16001  
 TITLE: CIVIL, CONSTRUCTION, EROSION CONTROL PLAN  
 SHEET NO:



### LEGEND

- CONCRETE WASHOUT AREA
- SEDIMENT CONTROL LOGS
- LIMITS OF CONSTRUCTION
- INLET PROTECTION



NOTE: EX. PARKING LOT AND  
 GRADINGS TO REMAIN UNCHECKED AT  
 REVISION 08/26/16 PER CITY PERMITS TO  
 REVISION

USE EX. PAVEMENT FOR STABILIZED  
 AREAS TO PREVENT EROSION AND  
 SEDIMENT CONTROL

IF ANY PART OF THIS PLAN IS TO BE USED FOR ANY OTHER PROJECT, THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

# CONSTRUCTION PLANS

## A NEW RESTAURANT, RETAIL SPACE AND 51 RM BOUTIQUE HOTEL

### NE 1/4 OF SECTION 22, TOWNSHIP 6S, RANGE 68W

#### TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO

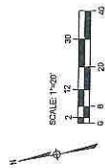
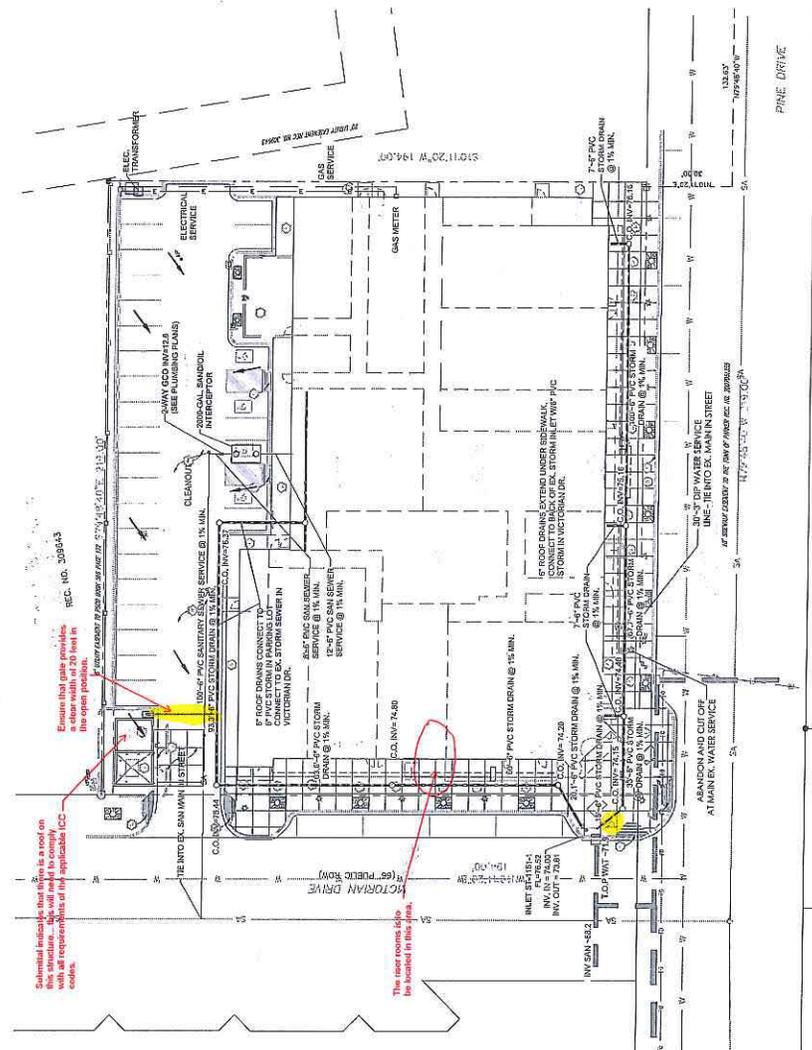
# UTILITY PLAN

### FIRE LIFE SAFETY COMMENTS dated 10/26/2016

- The submittal documents do not address the following:
  - The drawings do not show the location of all existing fire hydrants (within 1000 feet of the project). Show existing hydrants so as to determine whether the existing hydrants are adequate for this project.
  - The utility plan shows the location of the underground fire lines, again, per discussions, the UPL is to enter the building on the west side of the building and enter a riser room that is to be constructed on the west end of the building just north of the restaurant. Exterior access is required for the riser room with immediate access to the street or adjacent to the riser room into the building. Address this issue when resubmitting.
  - The drive side on the north side of the building exceeds 150 feet without provide an approved turn around/hammer head, address this issue when resubmitting.
- The location of the fire sprinkler control valve room; preliminary discussions indicate that the riser room is to be located just to the north of the restaurant and will be located at the west end of the building of Victoria Drive. Address this issue when resubmitting.
- The utility drawings do not show the location of all existing fire hydrants (within 1000 feet of the project). Show existing hydrants so as to determine whether the existing hydrants are adequate for this project.
- The utility plan shows the location of the underground fire lines, again, per discussions, the UPL is to enter the building on the west side of the building and enter a riser room that is to be constructed on the west end of the building just north of the restaurant. Exterior access is required for the riser room with immediate access to the street or adjacent to the riser room into the building. Address this issue when resubmitting.
- The drive side on the north side of the building exceeds 150 feet without provide an approved turn around/hammer head, address this issue when resubmitting.

At 54,000 square feet and a Type V-B Mfu, the fire flow for this building is 4,250 gpm... a 50% reduction in flow would require that four fire hydrants be available. Comply with the applicable fire codes and NFPA 24 section 7.2.3.

Address all issues when resubmitting



ASSOCIATED ARCHITECTS  
P.O. BOX 33034  
DENVER, COLORADO 80232  
PHONE: (303) 691-5253  
FAX: (303) 691-5018  
EMAIL: A@ASSOCIATEDARCHITECTS.NET

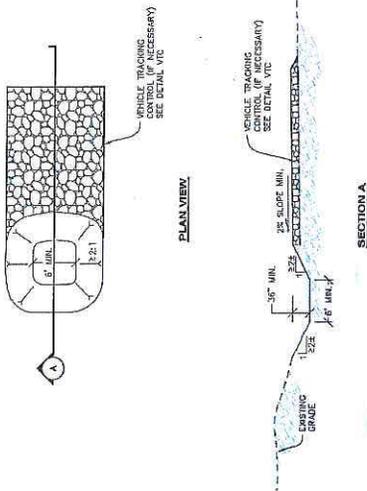
NEW RESTAURANT, RETAIL SPACE AND 51 RM BOUTIQUE HOTEL FOR:  
19801 E MAIN STREET  
PARKER, CO

DATE: 03-30-16  
DRAWN: PHOENIX WELLS  
SCALE: 1/8\"/>

# CONSTRUCTION PLANS

A NEW RESTAURANT, RETAIL SPACE AND 51 RM BOUTIQUE HOTEL  
NE 1/4 OF SECTION 22, TOWNSHIP 6S, RANGE 68W  
TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO

**NOTE:**  
A VICE PAD IS NOT NECESSARY IF  
THE VEHICLE TRACKING CONTROL IS  
LOCATED BETWEEN THE CURB AND ROADWAY,  
PARKING LOT, DRIVE AISLES, ETC.



## CWA CONCRETE WASHOUT AREA

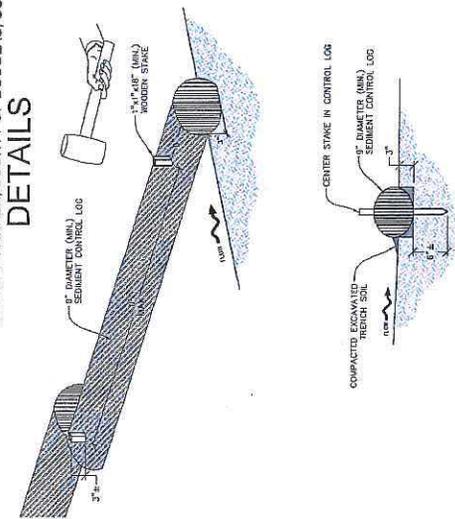
- CONCRETE WASHOUT AREA INSTALLATION NOTES**
1. CONCRETE WASHOUT AREAS SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE.
  2. VEHICLE TRACKING CONTROL IS REQUIRED AT THE ACCESS POINT TO ALL CONCRETE WASHOUT AREAS WITH CURB AND DRIVEWAYS IN BETWEEN THE CURB AND THE ROADWAY.
  3. IF GROUNDWATER IS ENCOUNTERED WHEN DIGGING THE PIT, A NEW LOCATION SHOULD BE DETERMINED AND THE WASHOUT AREA SHALL BE RELOCATED ALONG THE BOTTOM AND SIDE OF THE SUBSURFACE PIT.
- CONCRETE WASHOUT AREA INSPECTION AND MAINTENANCE NOTES**
1. THE PROGRAM CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CONCRETE WASHOUT AREA.
  2. CONCRETE WASHOUT MATERIALS SHALL BE REMOVED BEFORE ITS CAPACITY HAS BEEN REACHED.
  3. CONCRETE WASHOUT AREAS SHALL BE CLEANED AS NECESSARY TO MAINTAIN CAPACITY.
  4. CONCRETE WASHOUT AREAS SHALL BE MAINTAINED AS NECESSARY TO ENSURE PROPER OPERATION AND TO ENSURE ADEQUATE CAPACITY.
  5. CONCRETE WASHOUT AREAS SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
  6. REPAIRS TO THE CONCRETE WASHOUT AREAS SHALL BE MADE AS NECESSARY. THE PROGRAM CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE STAGING AREA, STABILIZED STAGING AREA WITH TOWN APPROVAL, STORAGE, AND LOADING OPERATIONS.

## STABILIZED STAGING AREA INSTALLATION NOTES

1. SEE CAMP PLAN FOR LOCATION OF STAGING AREA. CONTRACTORS MAY MODIFY LOCATION AND SIZE OF STABILIZED STAGING AREA WITH TOWN APPROVAL.
2. STABILIZED STAGING AREA SHALL BE LARGE ENOUGH TO FULLY CONTAIN PARKING, STORAGE, AND LOADING OPERATIONS.
3. THE STABILIZED STAGING AREA SHALL CONSIST OF A MINIMUM OF 3" DIAMETER OF STABILIZED STAGING AREA WITH TOWN APPROVAL.
4. VARIANCES MAY BE FORWARDED BY THE TOWN.

## STABILIZED STAGING AREA INSPECTION AND MAINTENANCE NOTES

1. THE PROGRAM CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE STAGING AREA, STABILIZED STAGING AREA WITH TOWN APPROVAL, STORAGE, AND LOADING OPERATIONS.
2. STABILIZED STAGING AREA SHALL BE MAINTAINED AS NECESSARY TO CONTAIN PARKING, STORAGE, AND LOADING OPERATIONS.

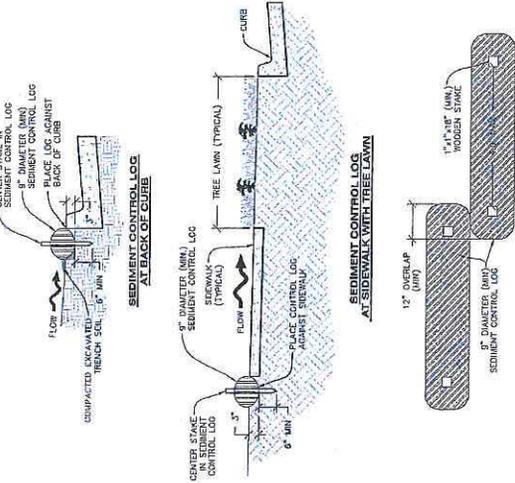


## SECTION A

## SCL SEDIMENT CONTROL LOG

# CONSTRUCTION PLANS

A NEW RESTAURANT, RETAIL SPACE AND 51 RM BOUTIQUE HOTEL  
NE 1/4 OF SECTION 22, TOWNSHIP 6S, RANGE 68W  
TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO



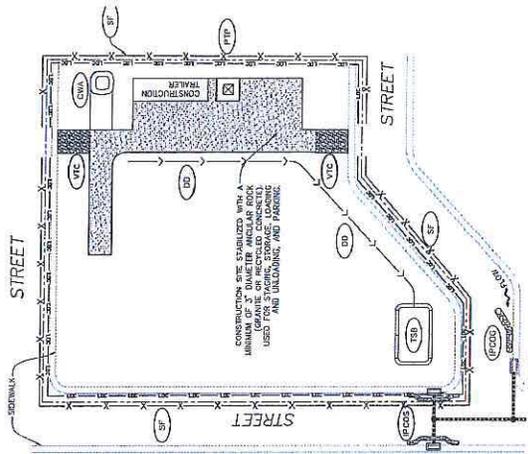
## SCL SEDIMENT CONTROL LOG

## SEDIMENT CONTROL LOG INSTALLATION NOTES

1. SEE CAMP PLAN FOR LOCATIONS OF SEDIMENT CONTROL LOGS.
2. ALL SEDIMENT CONTROL LOGS SHALL BE INSTALLED FREE OF OBSTACLES INCLUDING RIPS, HOLES AND OBVIOUS WEAR.
3. SEDIMENT CONTROL LOGS SHALL BE INSTALLED IMMEDIATELY ADJACENT TO AN IMPERVIOUS SURFACE CONTROL LOG AND THE IMPERVIOUS SURFACE. NO GAPS SHALL EXIST BETWEEN THE SEDIMENT CONTROL LOG AND THE IMPERVIOUS SURFACE.
4. A UNIFORM 1/2\"/>

## SEDIMENT CONTROL LOG INSPECTION AND MAINTENANCE NOTES

1. THE PROGRAM CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE SEDIMENT CONTROL LOGS.
2. THE PROGRAM CONTROL SUPERVISOR SHALL REMOVE ONLY THE SEDIMENT HAS REACHED A DEPTH EQUAL TO THE HEIGHT OF THE LOG.
3. SEDIMENT CONTROL LOGS SHALL REMAIN IN PLACE AND REGULARLY MAINTAINED UNTIL WORK IS COMPLETED. SEDIMENT CONTROL LOGS SHALL BE REPLACED AT THE END OF THE PROJECT AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
4. SEDIMENT CONTROL LOGS SHALL BE REPLACED WHEN THERE ARE ANY SIGNS OF WEAR OR DAMAGE THAT WOULD PREVENT THE SCL FROM FUNCTIONING AS INTENDED.
5. SEDIMENT CONTROL LOGS SHALL BE MAINTAINED AND REPAIRED AS NECESSARY TO MEET THE REQUIREMENTS OF THE TOWN'S SPECIFICATIONS (SEE RETAIL SPACE).



## SSA STABILIZED STAGING AREA

**CONSTRUCTION PLANS**  
 A NEW RESTAURANT, RETAIL SPACE AND 51 RM BOUTIQUE HOTEL  
 NE 1/4 OF SECTION 22, TOWNSHIP 6S, RANGE 68W,  
 TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO  
**LANDSCAPE PLAN**

**AN STRA**  
 ENGINEERING  
 1500 S. WASHINGTON ST. SUITE 100  
 DENVER, CO 80202  
 TEL: 303.733.1111  
 FAX: 303.733.1112  
 WWW.ANSTRASOCIATED.COM

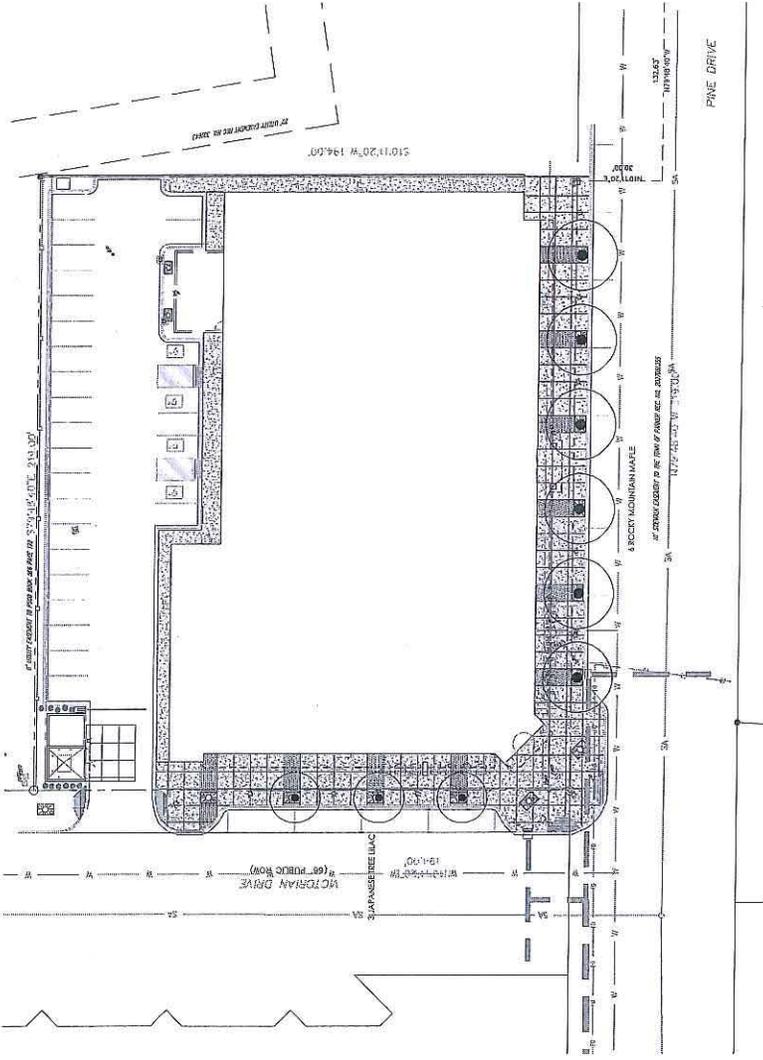
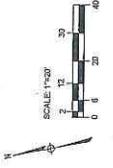
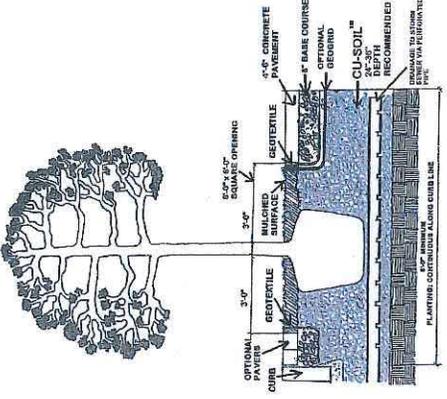
**ASSOCIATED ARCHITECTS**  
 P.O. BOX 32024  
 DENVER, COLORADO 80223  
 PHONE: (303) 691-5353  
 FAX: (303) 691-5018  
 EMAIL: AAS@ASSOCIATEDARCHITECTS.NET



NEW RESTAURANT, RETAIL SPACE AND 51 RM BOUTIQUE HOTEL FOR:  
**MAIN STREET PIER, LLC**  
 19801 E MAIN STREET  
 PARKER, CO

DATE: 08-20-15  
 DRAWN: PROLOGUE/LSB  
 TITLE: LANDSCAPE PLAN  
 JOB FILE:  
 SHEET NO.:

6 of 6





Right of Way & Permits

1123 West 3<sup>rd</sup> Avenue  
Denver, Colorado 80223  
Telephone: 303.571.3306  
Facsimile: 303. 571.3524  
donna.l.george@xcelenergy.com

October 18, 2016

Town of Parker Community Development Department  
20120 E. Mainstreet  
Parker, CO 80138

Attn: Patrick Mulready

**RE: Parker Central Area F1 L1 Parker Place Hotel – Main Street Pier  
Case # SP16-086**

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has determined **there are possible conflicts** with **Parker Central Area F1 L1 Parker Place Hotel – Main Street Pier**. Please be aware PSCo owns and operates an existing natural gas main distribution pipeline along the northeasterly property line and requests it be shown on the plans.

Additionally, within the plans the right-of-way along the southwesterly property line is identified as "Pine Drive"; however, isn't it "Mainstreet"?

The property owner/developer/contractor must contact the **Builder's Call Line** at 1-800-628-2121 or <https://xcelenergy.force.com/FastApp> (register so you can track your application) and complete the application process for any new gas service, or modification to existing facilities. It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details. Additional easements may need to be acquired by separate document for new facilities.

As a safety precaution, PSCo would like to remind the developer to call the **Utility Notification Center** at 1-800-922-1987 to have all utilities located prior to any construction.

Should you have any questions with this referral response, please contact me at 303-571-3306.

Donna George  
Contract Right of Way Referral Processor  
Public Service Company of Colorado

Parker Place Hotel Site Plan / Case No. SP16-086  
Trakit Referral Agency Notes

---

Randy Sale  
Building 15  
11/18/2016 5:17:43 PM

Could not locate revision of the exterior lighting calculations (COMcheck) to indicate compliance with the 2015 IECC as request previously. This will be handled during plan review once submitted.

Advisory Comment:

The east wall is less than 10' from the property line. Please refer to tables 602 and 705.8 of the 2015 IBC. The wall will need to have a fire resistive rating and the opening will be limited. Comments will be generated as part of the construction plan review.

---

Brooks Kaufman  
IREA 20  
10/24/2016 10:13:04 AM

The Association has reviewed the contents in the above-referenced referral response packet. We reviewed the project for maintaining our existing facilities, utility easements, electric loading, and service requirements. We are advising you of the following concerns and comments:

The Association has existing underground electric facilities on the subject property. The Association will maintain these existing utility easements and facilities unless otherwise requested by the applicant to modify them under the Association's current extension policies. The Association existing underground electric facilities are located along the western and southern property line. The existing transformer will be required to be relocated or removed at the applicant's expense.

The Association will require that all structures and landscaping maintain adequate clearances to the underground facilities and allow for the Association to access for maintenance purposes. The Association has strong concern in regards to a potential screening of the electrical equipment. The proposed new transformer location will be required to meet the Association's minimum clearance requirement of ten-feet (10') from any combustible building material and minimum of ten-feet (10') in front of the transformer doors.



# PARKER

C O L O R A D O

## Community Development Department Memorandum Development Review Division

**To:** Town of Parker Planning Commission

**From:** Ryan McGee, AICP, Associate Planner *RM*  
Bryce Matthews, AICP, Planning Manager *BM*

**Through:** Jason Rodgers, AICP, Deputy Community Development Director *JRR*

**Date:** December 1, 2016

**Regarding:** Public Hearing: Town of Parker and Douglas County Intergovernmental Agreement and Comprehensive Development Plan Fourth Amendment

### Section I. Subject & Proposal:

**Applicant:** Town of Parker, CO

**Proposal:** A request to consider the Fourth Amendment to the Town of Parker and Douglas County Intergovernmental Agreement and Comprehensive Development Plan.

### Section II. Background:

**History:** The Town of Parker and Douglas County first entered into an Intergovernmental Agreement (IGA) in 2003 to establish a mutually binding and enforceable Comprehensive Development Plan. The purpose of the IGA and Comprehensive Development Plan is to establish guidelines and policies for annexation and development of land within the Town of Parker's Urban Growth Area (UGA) and the Community Separation Buffer outside of the Town boundaries. The IGA and Comprehensive Development Plan was amended in 2006 (1<sup>st</sup> Amendment), 2008 (2<sup>nd</sup> Amendment) and 2015 (3<sup>rd</sup> Amendment).

On August 2, 2016 Town of Parker and Douglas County convened a Review Board with Douglas County Commissioner David Weaver and Town of Parker Councilmember Renee Williams to review the proposed amendments. This meeting fulfilled the requirements for amending the IGA and Comprehensive Development Plan.

The Review Board considered the proposed amendments and recommended that they be advanced to the referral process. The Public Hearing to review the proposed amendments will occur at the December 5, 2016 Town Council meeting. The Douglas County Board of County Commissioners will review the Fourth Amendment to the Town of Parker and Douglas County IGA and Comprehensive Development Plan on December 13, 2016.

### **Section III.**

#### **Analysis:**

The Fourth Amendment to the Town of Parker and Douglas County IGA and Comprehensive Development Plan consists of two amendments.

#### **1. Policy Modifications to Region B Grandview Estates**

Section(s) 4.1.2 Region B is being amended at the request of Grandview Estates Home Owners Association to clarify standards for (re)development and pedestrian, equestrian and vehicular connectivity. The proposed amendment to Section(s) 4.1.2 Region B eliminates references to “urban level services” and “commercial redevelopment”. The amendments also clarify that redevelopment be of scale and design that supports and complements the existing semi-rural character of the Grandview Estates subdivision and establishes a standard for density of less than one (1) dwelling unit per two (2) acres. The proposed modifications are consistent with land use policies established with the Douglas County Comprehensive Master Plan.

#### **2. Proposed Region I**

This amendment also establishes a new Region I within the Community Separation Buffer in the IGA and CDP maps and establishes mining/quarry land use as a Use by Special Review within the *Attachment B: Permitted Uses and Special Uses Matrix*. The addition of Region I also establishes that the existing Acme Brick Company clay mine may continue to operate for a period not to exceed the sooner occurrence of 15-years from the date of Douglas County Use by Special Review approval or July 4, 2032.

The addition of the new Region I to the Community Separation Buffer was requested by Acme Brick Company. Acme Brick Company is located outside of the Town immediately south of the future Hess Ranch Development (6237 Crowfoot Valley Road). Acme Brick has operated a clay mine facility at its 56 acre facility since receiving Douglas County Use by Special Review approval in 1996. The Use by Special Review approval was limited to a 20-year time frame

which expired in 2016. For the last 20 years Acme Brick Company has operated with minimal negative impact(s).

The Acme Brick Company site is still largely surrounded by undeveloped land. When the IGA and CDP were originally adopted in 2004 the mining/quarry use was eliminated as a permitted use within the County's A-1 Zone District. In 2006, the adjacent property to the north of the clay mine site was rezoned by the Town of Parker to Mixed-use within the Anthology Planned Development (PD). In 2015 the site to the adjacent north of the clay mine site was rezoned again to mixed use Hess Ranch PD.

**Section IV.**

**Referral Agency Comments:**

Below are the condensed versions of referral responses received from affected agencies:

**Town of Parker Comprehensive Planning:**  
Comprehensive Planning is supportive of the proposed changes.

**Fire/Life Safety:**  
No comment

**Town of Parker Engineering:**  
No comment

**Urban Drainage and Flood Control District:**  
No comment

**Town of Parker Information Technology:**  
No comment

**Section V.**

**Recommendation:**

Staff recommends that the Planning Commission recommend that the Town Council approve Ordinance 9.71.5 and Ordinance 9.70.5 to amend the Town of Parker and Douglas County Intergovernmental Agreement and Comprehensive Development Plan Fourth Amendment.

**Section VI.**

**Attachments:**

1. Ordinance No. 9.71.5
2. Ordinance No. 9.70.5
3. Redlined Town of Parker and Douglas County Intergovernmental Agreement and Comprehensive Development Plan Fourth Amendment

**Section VII.**

**Proposed Motion(s):**

*“I move that the Planning Commission recommend the Town Council approve Ordinance 9.71.5 and Ordinance 9.70.5 to amend the Town of Parker and Douglas County Intergovernmental Agreement and Comprehensive Development Plan Fourth Amendment.”*

ORDINANCE NO. 9.71.5, Series of 2016

**TITLE: A BILL FOR AN ORDINANCE TO APPROVE THE FOURTH AMENDMENT TO THE INTERGOVERNMENTAL AGREEMENT BETWEEN THE TOWN OF PARKER AND THE BOARD OF COUNTY COMMISSIONERS OF THE COUNTY OF DOUGLAS REGARDING THE FOURTH AMENDMENT TO THE COMPREHENSIVE DEVELOPMENT PLAN BETWEEN THE TOWN OF PARKER AND DOUGLAS COUNTY FOR AREAS WITHIN THEIR RESPECTIVE JURISDICTIONS**

WHEREAS, the Town Council of the Town of Parker desires to amend the Intergovernmental Agreement between the Town of Parker and the Board of County Commissioners of the County of Douglas regarding the Fourth Amendment to the Comprehensive Development Plan between the Town of Parker and Douglas County for areas within their respective jurisdictions; and

WHEREAS, the Town Council of the Town of Parker desires to authorize the Mayor to execute the Fourth Amendment to the Intergovernmental Agreement.

NOW, THEREFORE, THE TOWN COUNCIL OF THE TOWN OF PARKER, COLORADO, ORDAINS:

**Section 1.** The Town Council of the Town of Parker hereby approves the Fourth Amendment to the Intergovernmental Agreement ("Fourth Amendment") between the Town of Parker and the Board of County Commissioners of the County of Douglas, which is attached hereto as **Exhibit 1** and incorporated herein by this reference, and authorizes the Mayor of the Town to enter into the Fourth Amendment on behalf of the Town.

**Section 2.** Safety Clause. The Town Council hereby finds, determines and declares that this Ordinance is promulgated under the general police power of the Town of Parker, that it is promulgated for the health, safety and welfare of the public, and that this Ordinance is necessary for the preservation of health and safety and for the protection of public convenience and welfare. The Town Council further determines that the Ordinance bears a rational relation to the proper legislative object sought to be obtained. The Town Council further finds that the title to this Ordinance was posted in two public places two days before the Town Council meeting, as provided by Section 7.5e. of the Town of Parker Home Rule Charter.

**Section 3.** Severability. If any clause, sentence, paragraph or part of this Ordinance or the application thereof to any person or circumstances shall for any reason be adjudged by a court of competent jurisdiction invalid, such judgment shall not affect application to other persons or circumstances.

**Section 4.** This Ordinance shall become effective ten (10) days after final publication.

INTRODUCED AND PASSED ON FIRST READING this \_\_\_\_ day of \_\_\_\_\_,  
2016.

\_\_\_\_\_  
Mike Waid, Mayor

ATTEST:

\_\_\_\_\_  
Carol Baumgartner, Town Clerk

ADOPTED ON SECOND AND FINAL READING this \_\_\_\_ day of \_\_\_\_\_,  
2016.

\_\_\_\_\_  
Mike Waid, Mayor

ATTEST:

\_\_\_\_\_  
Carol Baumgartner, Town Clerk

APPROVED AS TO FORM:

\_\_\_\_\_  
James S. Maloney, Town Attorney

ORDINANCE NO. 9.70.5, Series of 2016

**TITLE: A BILL FOR AN ORDINANCE TO APPROVE THE FOURTH AMENDMENT TO THE MUTUALLY BINDING AND ENFORCEABLE COMPREHENSIVE DEVELOPMENT PLAN BETWEEN THE TOWN OF PARKER AND DOUGLAS COUNTY FOR AREAS WITHIN THE TOWN OF PARKER AND DOUGLAS COUNTY**

WHEREAS, C.R.S. § 29-20-105(1) authorizes local governments, such as the Town of Parker (the "Town") and the County of Douglas (the "County"), to cooperate for the purpose of planning and regulating the development of land, including, but not limited to, the exercise of planning, zoning, subdivision, building and related regulation;

WHEREAS, C.R.S. § 29-20-105(2)(a) authorizes local governments such as the Town and County to provide, through intergovernmental agreements, for the joint adoption, after notice and hearing, of mutually binding and enforceable comprehensive development plans for areas within their jurisdictions;

WHEREAS, C.R.S. § 29-20-105(2)(b) provides that a comprehensive development plan may contain master plans, zoning plans, subdivision regulations and building code, permit and other land use standards, which, if set out in specific detail, may be in lieu of such regulations or ordinances of the local governments;

WHEREAS, the Town and the County approved a Mutually Binding and Enforceable Comprehensive Development Plan for areas between the Town of Parker and Douglas County for areas within the Town of Parker and Douglas County, which went into effect on May 14, 2003 (the "Comprehensive Development Plan");

WHEREAS, the Town and County amended the Comprehensive Development Plan, which went into effect on May 17, 2006;

WHEREAS, the Town and County amended the Comprehensive Development Plan, which went into effect on June 16, 2008;

WHEREAS, the Town and County amended the Comprehensive Development Plan, which went into effect on August 23, 2015;

WHEREAS, the Town and County desire to amend the Comprehensive Development Plan;

WHEREAS, notices of the Planning Commission and Town Council public hearings concerning the proposed amendment to the Comprehensive Development Plan were published in the *Douglas County News-Press* on November 10, 2016, and November 17, 2016;

WHEREAS, the Planning Commission, after notice, held a public hearing on December 1, 2016, concerning the proposed amendment to the Comprehensive Development Plan;

WHEREAS, the Town Planning Commission, after notice and public hearing, recommended approval of the proposed amendment to the Comprehensive Development Plan, which is attached as **Exhibit 1** and incorporated by this reference (the "Fourth Amendment to the Comprehensive Development Plan"), for those areas within the Town and the County, which are described in the Fourth Amendment to the Comprehensive Development Plan; and

WHEREAS, the Town Council, after notice, held a public hearing on December 5, 2016, concerning the Fourth Amendment to the Comprehensive Development Plan.

NOW, THEREFORE, THE TOWN COUNCIL OF THE TOWN OF PARKER, COLORADO, ORDAINS:

**Section 1.** The Town Council of the Town of Parker hereby adopts the Fourth Amendment to the Comprehensive Development Plan, which shall be mutually binding and enforceable, for those areas described in such Plan, between the Town of Parker and the Board of County Commissioners of the County of Douglas, which is attached as Exhibit A. The location and boundaries of the Fourth Amendment to the Comprehensive Development Plan are described in the planning area map, which is attached to the Plan (the "Planning Area Map") and the zoning map, which is attached to the Plan (the "Zoning Map"). The Zoning Map shall be included and made a part of the Official Zoning Map for the Town of Parker.

**Section 2. Safety Clause.** The Town Council hereby finds, determines and declares that this Ordinance is promulgated under the general police power of the Town of Parker, that it is promulgated for the health, safety and welfare of the public, and that this Ordinance is necessary for the preservation of health and safety and for the protection of public convenience and welfare. The Town Council further determines that the Ordinance bears a rational relation to the proper legislative object sought to be obtained. The Town Council further finds that the title to this Ordinance was posted in two public places two days before the Town Council meeting, as provided by Section 7.5e. of the Town of Parker Home Rule Charter.

**Section 3. Severability.** If any clause, sentence, paragraph or part of this Ordinance or the application thereof to any person or circumstances shall for any reason be adjudged by a court of competent jurisdiction invalid, such judgment shall not affect application to other persons or circumstances.

**Section 4.** This Ordinance shall become effective ten (10) days after final publication.

INTRODUCED AND PASSED ON FIRST READING this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
Mike Waid, Mayor

ATTEST:

\_\_\_\_\_  
Carol Baumgartner, Town Clerk

ADOPTED ON SECOND AND FINAL READING this \_\_\_\_\_ day of \_\_\_\_\_,  
2016.

\_\_\_\_\_  
Mike Waid, Mayor

ATTEST:

\_\_\_\_\_  
Carol Baumgartner, Town Clerk

APPROVED AS TO FORM:

\_\_\_\_\_  
James S. Maloney, Town Attorney

Exhibit I

TOWN OF PARKER AND DOUGLAS COUNTY

INTERGOVERNMENTAL AGREEMENT

AND

COMPREHENSIVE DEVELOPMENT PLAN

*WORKING IN PARTNERSHIP  
FOR THE FUTURE OF OUR CITIZENS*

Initial Effective Date: May 14, 2003  
First Amendment Effective Date: May 17, 2006  
Second Amendment Effective Date: June 16, 2008  
Third Amendment Effective Date: August 25, 2015  
Fourth Amendment Effective Date: \_\_\_\_\_

Draft Fourth Amendment revision dates:  
October 23 July-15, 2016

**~~FOURTH~~ ~~THIRD~~ AMENDMENT TO THE INTERGOVERNMENTAL AGREEMENT  
BETWEEN THE TOWN OF PARKER AND THE COUNTY OF DOUGLAS  
TO AMEND AND RESTATE THE MUTUALLY BINDING AND  
ENFORCEABLE COMPREHENSIVE DEVELOPMENT PLAN**

**THIS ~~FOURTH~~ ~~THIRD~~ AMENDMENT TO THE INTERGOVERNMENTAL AGREEMENT** is made and entered into this \_\_\_ day of \_\_\_\_\_, 201~~6~~<sup>5</sup>, by and between the Board of County Commissioners of the County of Douglas, a body politic organized under and existing by virtue of the laws of the State of Colorado (the "County"), and the Town of Parker, Colorado, a Colorado home rule municipal corporation (the "Town").

**RECITALS**

**WHEREAS**, the County and the Town entered into an intergovernmental agreement on October 31, 2003, to establish a mutually binding and enforceable comprehensive development plan (the "Intergovernmental Agreement");

**WHEREAS**, the County and the Town approved a Mutually Binding and Enforceable Comprehensive Development Plan for areas within the County and the Town, which went into effect on May 14, 2003 (the "Comprehensive Development Plan");

**WHEREAS**, the County and the Town, after notice and hearing, jointly adopted the First Amendment to the Comprehensive Development Plan, which went into effect on May 17, 2006;

**WHEREAS**, the County and the Town, after notice and hearing, jointly adopted the Second Amendment to the Comprehensive Development Plan, which went into effect on June 16, 2008;

**WHEREAS**, the County and the Town, after notice and hearing, jointly adopted the Third Amendment to the Comprehensive Development Plan, which went into effect August 25, 2015;

**WHEREAS**, the County and the Town, after notice and hearing, jointly adopted the Fourth Amendment to the Comprehensive Development Plan, which is described in the plan.

**WHEREAS**, the Town and the County desire to amend the Intergovernmental Agreement to establish that the jointly adopted ~~Fourth~~ ~~Third~~ Amendment to the Comprehensive Development Plan is a mutually binding and enforceable comprehensive development plan for areas within their jurisdictions, which are described in the plan, according to the terms and conditions of such agreement;

**WHEREAS**, the County, as a statutory county, is authorized to enter into this Third Amendment to the Intergovernmental Agreement, pursuant to C.R.S. § 29-20-105;

WHEREAS, the Town, as a home rule municipality, is authorized to enter into this Third Amendment to the Intergovernmental Agreement, pursuant to Colo. Const. Art. XX, Colo. Const. Art. XIV, Section 18, as well as C.R.S. § 29-1-203 and the Local Government Land Use Control Act, Sections 29-20-101 through 107, C.R.S., as amended; and

WHEREAS, the County and the Town desire to enter into this Third Amendment to the Intergovernmental Agreement and to make the Third Amendment to the Comprehensive Development Plan mutually binding and enforceable.

### AGREEMENT

NOW, THEREFORE, the County and the Town agree to enter into this ~~Fourth~~Third Amendment to the Intergovernmental Agreement ("Third Amendment") to provide as follows:

1. Paragraph 1 of the Intergovernmental Agreement is hereby amended to provide as follows:

1. **FOURTH~~Third~~ Amendment to the Comprehensive Development Plan, as Restated.** The County and Town jointly adopt the ~~Fourth~~Third-Amendment to the Comprehensive Development Plan, as restated, which is attached hereto as **Replacement Exhibit 2** and incorporated by this reference (the "~~Fourth~~Third Amendment to the Comprehensive Development Plan"). The County and the Town acknowledge that the ~~Fourth~~Third Amendment to the Comprehensive Development Plan is mutually binding and enforceable for areas within their jurisdictions, as described in the plan, to the fullest extent allowed by C.R.S. § 29-20-105(1) and (2).

2. The County and the Town acknowledge and agree that the Intergovernmental Agreement has not been amended, except as provided in the First Amendment, effective May 17, 2006, the Second Amendment, effective June 16, 2008, ~~the and this~~Third Amendment, effective August 25, 2015, AND THIS FOURTH AMENDMENT.

IN WITNESS WHEREOF, this ~~Fourth~~Third Amendment to the Intergovernmental Agreement is executed by the Town of Parker and the Board of County Commissioners of Douglas County, as of the date first above written.

TOWN OF PARKER, COLORADO

BY: \_\_\_\_\_  
Mike Waid, Mayor

ATTEST:

\_\_\_\_\_  
Carol Baumgartner, Town Clerk

APPROVED AS TO FORM:

James S. Maloney, Town Attorney

BOARD OF COUNTY COMMISSIONERS  
OF THE COUNTY OF DOUGLAS,  
COLORADO

BY:

David A. Weaver~~Jill A. Repella~~, Chair  
Board of County Commissioners

ATTEST:

Meghan McCann~~Codie Brenner~~, Deputy Clerk to the Board

APPROVED AS TO FORM:

Lance Ingalls, County Attorney

REPLACEMENT EXHIBIT 2  
**FOURTH~~THIRD~~** AMENDMENT TO THE  
COMPREHENSIVE DEVELOPMENT PLAN

**~~FOURTH THIRD~~ AMENDMENT TO THE  
COMPREHENSIVE DEVELOPMENT PLAN**

**THIS ~~FOURTH THIRD~~ AMENDMENT TO THE COMPREHENSIVE DEVELOPMENT PLAN** (hereinafter referred to as the “Comprehensive Development Plan” or “Plan”) is made and entered into this \_\_\_\_\_ day of \_\_\_\_\_, 2016~~5~~, by and between the Board of County Commissioners of the County of Douglas, a body politic organized under and existing by virtue of the laws of the State of Colorado (the “County”) and the Town of Parker, Colorado, a Colorado home rule municipal corporation (the “Town”).

**RECITALS**

**WHEREAS**, the County and the Town entered into a mutually binding comprehensive development plan that went into effect on May 14, 2003, as a means to plan for and regulate land use within a joint planning area, as identified in such plan; and

**WHEREAS**, the County and Town entered into the first amendment to the comprehensive development plan that went into effect on May 17, 2006; and

**WHEREAS**, the County and Town entered into the second amendment to the comprehensive development plan that went into effect on June 16, 2008; and

**WHEREAS, the County and Town entered into the third amendment to the comprehensive development plan that went into effect on August 25, 2015; and**

**WHEREAS**, the County and Town desire to amend and restate the Comprehensive Development Plan to the extent provided herein.

**PLAN**

**NOW, THEREFORE**, the County and the Town jointly approve and adopt this ~~FourthThird~~ Amendment to the Comprehensive Development Plan, which is restated to provide as follows:

**1.0 Planning Area Definitions**

- 1.1 Town Urban Growth Area. Represents the boundary of the Town’s potential future annexation area to the year 2022. The level to which this area may or may not be developed shall depend on a number of factors, including, but not limited to, natural features, utility services, and compliance with applicable Town regulations and master plans. This boundary represents the Town’s potential annexation perimeter and will include areas dedicated for open space as well as urban level development. The Town Urban Growth Area is depicted on the attached map (Attachment A).

- 1.2 Community Separation Buffer. Represents a buffer around the Town's Urban Growth Area that provides a transitional "edge" between the Town and other incorporated and unincorporated communities. While this area is not needed to accommodate the Town's growth to the year 2022, land use and development changes within this area will have a direct impact on the Town. The Community Separation Buffer is depicted on the attached map (Attachment A).
- 1.3 Permitted Uses. The Comprehensive Development Plan shall supersede the County Zoning Resolution for the real property contained within the Community Separation Buffer Area and the Town Urban Growth Area to the extent provided in the Plan. The only uses permitted by right within the Community Separation Buffer Area and the Town Urban Growth Area are those permitted uses described in Attachment B (the "Permitted Uses and Special Uses Matrix") and depicted in Attachment C ("Zoning Map"). The Permitted Uses shall not be changed, modified or expanded within the Community Separation Buffer Area during the term of this Plan, except as provided in paragraph 7.0 of the Plan. The Permitted Uses shall not be changed, modified or expanded within the Town Urban Growth Area, except as provided in paragraph 7.0 of the Plan.
- 1.4 Special Uses. The only Special Uses allowed within the Community Separation Buffer Area and the Town Urban Growth Area are those special uses described in Attachment B ("Permitted Uses and Special Uses Matrix") that are determined to meet, after notice and hearing, the requirements contained in Attachment D. The Special Uses shall not be changed, modified or expanded within the Community Separation Buffer Area during the term of this Plan, except as provided in paragraph 7.0 of the Plan. The Special Uses shall not be changed, modified or expanded within the Town Urban Growth Area, except as provided in paragraph 7.0 of the Plan.

## **2.0 Annexation within and expansion of the Town's Urban Growth Area**

- 2.1 Commitment by Town to Actively Pursue Annexation of Enclaves and Roads. The Town will commit to actively pursue annexation of all enclaves. Enclaves are those unincorporated areas of land entirely contained within the outer boundaries of the Town. The businesses and land owners that are located on unincorporated enclaves identify with the Town of Parker, are a part of the community fabric of the Town, and contribute to the Town's revenue. Annexation of these enclaves will benefit the land and business owners, the Town, as well as the County by consolidating the service area of the Town and County, bringing these properties under Town services.
- 2.2 Waiver of Annexation Impact Reports. As all unincorporated areas located within the Town's Urban Growth Area are encouraged to annex into the Town, the County shall waive annexation impact reports for all unincorporated areas within the Town's Urban Growth Area.

- 2.3 Standards for Review of Annexation Petitions. The Town, when reviewing proposed annexations within the Town's Urban Growth Area, shall apply the following Standards for Review.
- 2.3.1 The property under consideration for annexation is within the Town's Urban Growth Area.
  - 2.3.2 The annexation complies with the Town's Land Development Code and applicable design standards.
  - 2.3.3 The annexation request is consistent with the Town's adopted plans, including, but not limited to, the Master Plan and Open Space, Trails and Greenways Master Plan, as amended.
  - 2.3.4 The site plan provides for the preservation of significant stands of vegetation; unique or distinctive topographic features, including buttes and rock outcroppings; drainage, riparian and wetland areas; significant wildlife habitats, including breeding grounds, nesting areas, migration routes and wintering areas; scenic views; identified aquifer recharge areas and important historical or archaeological sites.
  - 2.3.5 The site plan incorporates elements that provide for logical connections to local trails in order to link neighborhoods and connections to regional trails and nearby destinations.
  - 2.3.6 The land can be used safely for the intended purpose without danger to the public health, safety or welfare or peril from fire, flood, geologic hazards or other natural hazards.
  - 2.3.7 The petition for annexation is in conformance with a fully-executed pre-annexation agreement with the Town, if applicable.
  - 2.3.8 The area sought to be annexed meets the requirements of the Municipal Annexation Act of 1965, as amended.
  - 2.3.9 The petition for annexation satisfies the requirements of Article II, Section 30 of the Colorado Constitution.
  - 2.3.10 That, upon the annexation ordinance becoming effective, all lands within the area sought to be annexed shall become subject to the ordinances, resolutions, rules and regulations of the Town, except for general property taxes which shall become effective on January 1 of the next succeeding year following passage of the annexation ordinance.
  - 2.3.11 Petitioners understand that the Town does not provide municipal water and sewer service, and connection to water and sewer requires inclusion into the Parker, Cottonwood, Stonegate, or Compark Water and Sanitation Districts.

2.3.12 The petitioners agree that no vested rights to use or to develop the property in any particular way, as defined in Section 24-68-101, *et seq.*, C.R.S., have been acquired by petitioners from any government entity. Petitioners waive any vested land use rights attached to any or all of the property to be annexed.

2.3.13 The petitioners acknowledge that, upon annexation of the property to the Town, the property, the owners thereof, and uses thereon will be subject to all taxes and fees imposed by the Town. The petitioners further acknowledge that the property, the owners thereof, and the uses thereon are also bound by any voter authorization under Article X, §20 of the Colorado Constitution adopted prior to annexation of the property. The petitioners waive any claims they may have under Article X, §20 of the Colorado Constitution related to such taxes and fees.

### **3.0 Land Use Applications Submitted to the County for Unincorporated Lands within the Town Urban Growth Area**

3.1 Applications for Urban Level Development Other Than Region 4. Applications submitted to the County for rezoning to business, commercial, industrial, or residential development at a density greater than 1 dwelling unit/2.5 acres will be directed to the Town for annexation.

3.1.1 If there is contiguity, the Town shall process a petition for annexation. The Town Council shall apply the Standards for Review, as outlined above in paragraph 2.3 of the Plan, when considering a petition for annexation. Final decision authority for said petitions shall be with the Town Council following a public hearing, in the manner provided by the Plan.

3.1.2 If contiguity cannot be established, or if the Town adopts an ordinance establishing growth limitations, a pre-annexation agreement shall be executed between the property owner and the Town prior to the County processing the application.

3.1.2.1 If a pre-annexation agreement is executed, the County shall process the application.

3.1.2.1.1 The Town Planning staff shall be available for a pre-application conference(s) with the County and applicant.

3.1.2.1.2 The County shall forward the application to the Town for review and comment. The Town shall provide a referral response with comments based upon the Town's Land Development Code and applicable design standards.

3.1.2.1.3 The County shall actively consider the Town's comments in its review of the application.

3.1.2.1.3.1 If conformance with both the County and Town's regulations cannot be achieved, the staff of both the County and the Town shall meet to resolve the issues and attempt to provide a joint recommendation on the application. If resolution is not achieved, the County shall process the application in conformance with both the County and Town's regulations to the extent feasible.

3.1.2.1.3.2 If additional interpretation is needed, the staff of both the County and the Town shall meet to resolve the issues and attempt to provide a joint recommendation on the application. If resolution is not achieved, the County shall process the application in conformance with the Town's comments to the extent feasible.

3.1.2.1.3.3 Final decision authority for said applications shall be with the Board of County Commissioners following a public hearing, in the manner provided by the Plan and the County's Zoning Resolution. Where the Plan and the County's Zoning Resolution conflict, the provisions of the Plan shall prevail.

3.1.2.2 If a pre-annexation agreement is not executed, the property owner may:

3.1.2.2.1 Request that the County process an application for development in compliance with the Plan for Permitted Uses and Special Uses; or

3.1.2.2.2 Request an amendment to the Plan in compliance with the provisions outlined in paragraph 7.0 of the Plan.

3.2 Applications for Development in Region 4. The County, as permitted by the County Zoning and Subdivision Resolutions, shall process all applications submitted to the County for urban-level development or for Permitted Uses and Special Uses as outlined in the Plan.

3.2.1 The County shall submit a notice to the Town through the standard referral process. The Town shall provide a referral response with comments based upon the Town's Land Development Code and applicable design standards.

3.2.2 The County shall encourage the property owner to annex into the Town and the Town agrees to annex the property if there is contiguity.

3.2.3 If contiguity cannot be established, a pre-annexation agreement shall be executed between the property owner and the Town.

3.3 Applications for Development in Compliance with the Comprehensive Development Plan. The County, as permitted by the County Zoning and Subdivision Resolutions, shall process applications submitted to the County for development in compliance with the Plan, for Permitted Uses and Special Uses. Prior to processing the application, the County shall encourage the property owner to annex into the Town.

3.3.1 The County shall submit a notice to the Town through the standard referral process. The Town's referral comments will be based on the provisions of this Plan.

#### **4.0 Land Use Applications Submitted to the County within the Community Separation Buffer**

4.1 Regions. The County agrees to process all land use applications within the Community Separation Buffer in compliance with the Permitted Uses, Special Uses and as described below, provided that the Permitted Uses and Special Uses may be modified and supplemented in Region E through the approval by the County of a Planned Development, as described below in items 4.1.5 and 4.2.

4.1.1 Region A: As defined by the Douglas County Comprehensive Master Plan, this region permits rural development that is of a low-intensity nature and may continue to build out in the established land pattern. Semi-rural development may be considered when available water supply and provision of schools, recreation, employment, and shopping are provided.

4.1.14.1.2 Region B: Residential development in this region may continue to build out in the established land pattern. ~~Redevelopment of this region may be supported when appropriate urban level services are provided. Redevelopment in this region should be of a scale and design that supports and complements the semi-rural nature of this nonurban area.~~ Redevelopment shall be defined at a density ~~greater of no more~~ than one (1) dwelling unit per two acres in accordance with adopted regulations. ~~and/or commercial in nature.~~ Redevelopment may be considered when all of the following principles/requirements are met:

4.1.2.1 Site development shall be sensitive to the physical patterns of land and water that occur naturally on the site.

4.1.2.2 Development shall be clustered to preserve the floodplain and natural features of Happy Canyon Creek, to the extent possible~~Guleh.~~

4.1.2.3 Lincoln Avenue provides a sense of transition into the Town and acts as a “gateway” into the community. Development along this thoroughfare shall respect and incorporate design elements that enhance the concept of community gateway.

~~4.1.2.4 Site design will provide for vehicular and pedestrian connectivity to all adjacent communities, to the extent feasible. Site development will provide for pedestrian, bicycle, and equestrian connectivity to adjacent communities and shall encourage vehicular connections to Lincoln Avenue, to the extent possible.~~

~~4.1.2.5~~

4.1.2.5 Sufficient open space, parks and trails shall be provided to meet the needs of the development.

#### 4.1.2.6

4.1.24.1.3 Region C: As defined by the Douglas County Comprehensive Master Plan, this region permits rural development that is of a low-intensity nature (1 dwelling unit/35 acres). If a rural site plan is submitted in accordance with the County Zoning Resolution, the density may be increased not exceeding 1 dwelling unit/17.5 acres as an incentive to preserve open space and protect wildlife habitat. Semi-rural development in this region is not supported.

4.1.34.1.4 Region D: This region permits uses associated with open space, passive and nonmotorized recreation, agricultural and Parker Water and Sanitation uses. Such passive uses may include, but are not limited to, hiking, biking, equestrian activities, outdoor conservation activities and fishing. The County shall have the final determination for allowed activities.

4.1.44.1.5 Region E: This region permits urban level, Planned Development-zoned development as identified and defined in the Douglas County Comprehensive Master Plan and defined in the Douglas County Zoning Resolution. Through the County's approval of a rezoning to Planned Development, the Permitted Uses and Special Uses may be modified and supplemented with additional uses that are consistent with urban level development. Development in this region shall comply with all of the following principles/requirements:

- 4.1.5.1 Site development shall be sensitive to the physical patterns of land and water that occur naturally on the site.
- 4.1.5.2 Development should consider clustering to preserve areas of natural open space between developments and to promote separation of developments.
- 4.1.5.3 Development shall implement site planning techniques to minimize visual impacts of development in highly scenic, topographically diverse terrain.
- 4.1.5.4 Lincoln Avenue provides a sense of transition into the Town and acts as a "gateway" into the community. Development along this thoroughfare shall respect and incorporate design elements that enhance the concept of community gateway.
- 4.1.5.5 Site development along the proposed extension of Chambers Road will be adequately setback to establish a greenbelt/trail system, effectively acting as a community separation buffer between the development and this vehicular thoroughfare.
- 4.1.5.6 Site design will provide for vehicular and pedestrian connectivity to all adjacent communities, to the extent feasible.

4.1.5.7 Site design will preserve sufficient open space to meet the needs of the development and provide community separation and should consider: environmental areas; riparian features; 100-year floodplain; significant natural land forms; significant natural vegetation areas; important wildlife habitat areas; geologic hazard areas; severe soil erosion area; and cultural, historic and archaeological areas.

4.1.6 Region F: Development in this area is limited to residential uses, parks, and open space.

4.1.7 Region G: This region is limited to open space uses only.

4.1.8 Region H: Development in this area is limited to residential uses, parks, schools, and open space. Residential uses shall not exceed 2.2 units per acre.

It is the County's intent to design and construct the portion of Bayou Gulch Road/Chambers Road, (Bayou Gulch Road), which lies north of Pradera Parkway and south of the property (Arlington Property). The vertical and horizontal alignments for Bayou Gulch Road for the southern 1,200-feet within the property (Arlington Property) needs to be well coordinated with the County, in order to assure compatibility for the portion of the road as it crosses over Scott Gulch; and so that the road can be constructed cost effectively and within the existing right-of-way (ROW), that was dedicated to the County by the developers that lie south of the property (Arlington Property). The County has plans to reconstruct existing Scott Road from the east boundary of the Hungry Horse open space to intersect with proposed Bayou Gulch Road, which will be located approximately 100 to 200 feet south of the property (Arlington Property); and any accesses further to the north on Bayou Gulch Road needs to take into consideration the spacing between this full movement intersection and any accesses to the north. Additionally, the alignment of Bayou Gulch Road across the property (Arlington Property) needs to be designed so that no additional ROW or easements will be needed from the existing large rural residential property that is located directly to the west, which is not proposed to be rezoned. The County is not going to hold the current landowner responsible for any of the stated improvements.

The property owner shall grade four (4) and build two (2) major arterial roadway lanes for that portion of Bayou Gulch Road/Chambers Road for the length of said property. Additionally, the property owner shall be responsible for any auxiliary lanes as required by the Town.

**4.1.9 Region I: Development in this area may include a clay mine operation as reviewed and approved through the County's Use by Special Review**

process. The clay-mine operation shall be valid for a period not to exceed the sooner occurrence of a period of fifteen years from the date of its approval by Douglas County or July 4, 2032.

#### 4.2 Review Process.

- 4.2.1 The County shall submit a notice to the Town through the standard referral process for land use applications in Regions A, B (when redevelopment is not proposed), C and D.
- 4.2.2 The County and the Town shall jointly review any redevelopment application submitted for Region B. Such review shall include jointly held meeting(s) at the staff level in order to develop comments on an application.
- 4.2.3 Subject to paragraph 4.2.5 below, the County and the Town shall jointly review all urban level Planned Development rezoning applications submitted for Region E. Such review shall consist of jointly held meeting(s) at the staff level in order to develop comments on an application.
- 4.2.4 The Town's referral comments will focus on compliance with the provisions of this Plan, as outlined in paragraph 4.1 of the Plan.
- 4.2.5 The County will hold public hearings to the extent provided in the County's Zoning and Subdivision Resolutions, and make its final decision in accordance with the Plan and said resolutions.

#### **5.0 Land Use Applications Submitted to the Town within the Town Urban Growth Area.**

- 5.1 Region 1: Site development shall comply with the following principles/requirements or with the Plan for Permitted Uses and Special Uses:
  - 5.1.1 Provide for a regional open space corridor that is continuous and sufficient in size to effectively act as a buffer between the Town's Urban Growth Area and the Community Separation Buffer Area. The corridor shall feature naturally undisturbed, passive open space to provide regional access and trail connections as well as a wildlife corridor through this area.
  - 5.1.2 Preserve significant natural features, critical stands of vegetation, riparian corridors/primary gulches, natural hazard areas, steep slopes, critical wildlife habitat, and sites of historic, cultural, or archaeological significance.

- 5.1.3 Development shall implement site planning techniques to minimize visual impacts of development in highly scenic, topographically diverse terrain.
  - 5.1.4 Protect the rural roadside character of Crowfoot Valley Road by establishing an open space buffer zone along this corridor.
  - 5.1.5 Include a pedestrian circulation system designed to assure that pedestrians can walk safely and easily on the site, and between properties and activity areas/open space/activity centers/special features. Pedestrian circulation systems shall also be linked with regional connections to open space and trails.
  - 5.1.6 Provide sufficient passive open space corridors that are contiguous and integrated into local and regional greenway/trail systems.
  - 5.1.7 Development shall be clustered to preserve and protect significant open space in its natural state.
  - 5.1.8 Provide appropriately sized and located activity centers that offer a wide range of goods and services to the immediate market area, neighborhood and community.
  - 5.1.9 Vehicular circulation systems shall be designed with consideration to the topographic conditions of the land and provide for logical connections to public rights-of-way.
  - 5.1.10 Provide active recreational areas, including, but not limited to, open space, parks and trails in suitable locations that meet the needs of the development and offer convenient access by residents.
  - 5.1.11 Proposed golf courses shall, at a minimum, be designed to include provisions to promote water conservation and wildlife habitat, as provided by the Center for Resource Management's published "Environmental Principles for Golf Courses in the United States" and National Audubon Society's model for "green" golf course standards.
  - 5.1.12 Development on the south side of Crowfoot Valley Road shall use open space to create community separation between the Town and adjacent development. Open space will be used to expand and enhance existing adjacent open space within the Community Separation Buffer Area.
- 5.2 Region 2: Requests for mining or water storage shall comply with the following principles/requirements:
- 5.2.1 The maximum life of the mining/extraction uses shall not exceed ten (10) years.

- 5.2.2 Truck hauling materials shall be subject to the access requirements of the Town and shall be in compliance with the Town's truck hauling routes map, as amended.
- 5.2.3 Hours of operation for mining, extraction and hauling shall not exceed Monday through Friday between the hours of 8 a.m. and 5 p.m.
- 5.2.4 A dust mitigation plan shall be required. An on-site water source shall be available and used as required for implementing the dust mitigation plan.
- 5.2.5 A noise plan shall be prepared to demonstrate the ability to comply with maximum noise levels as required by C.R.S. § 25-12-103. Such noise plan shall identify noise mitigation measures such as, but not limited to, the use of berming, locating noisy machinery and vehicles below grade in the excavation pit, and the establishment of operational guidelines.
- 5.2.6 A visual analysis shall be required to determine the visibility of the mining operation, including, but not limited to, the total disturbed area, stock piles, equipment, and any structures from Crowfoot Valley Road, Highway 83, and adjacent residential development. Visual mitigation measures for the duration of the mining operation shall be required, including, but not limited to: berming; landscape screening; limitations on the height, location, and quantity of stock piles; sub-grade placement of maintenance, mechanical, and other equipment; as examples.
- 5.2.7 The property owner shall render to the Town cash or an irrevocable letter of credit in an amount sufficient to restore the subject property to its original condition to the extent that property owner fails to comply with the Town standards or the principles/requirements described herein.
- 5.2.8 The property owner shall demonstrate to the Town's satisfaction that the property owner has adequate adjudicated water rights to keep the reservoir full.
- 5.2.9 The property owner shall demonstrate to the Town's satisfaction that the property owner has adjudicated water rights to store water in the reservoir at the site proposed for the reservoir.
- 5.2.10 The property owner shall demonstrate to the Town's satisfaction that the property owner has adjudicated the means and methods to convey the water rights from the point of diversion to the site proposed for the reservoir.
- 5.2.11 Non-motorized recreational boating shall be permitted on the reservoir and the reservoir shall be open to the public and managed by the Town of Parker/Douglas County parks departments.

5.2.12 As part of the annexation agreement with the Town, trail connections shall be incorporated.

5.3 Region 3: Site development shall comply with the following principles/requirements:

5.3.1 Preserve significant natural features, critical stands of vegetation, riparian corridors/primary gulches (including Newlin Gulch), natural hazard areas, steep slopes, critical wildlife habitat, and sites of historic, cultural, or archaeological significance.

5.3.2 Development shall implement site planning techniques to minimize visual impacts of development in highly scenic, topographically diverse terrain.

5.3.3 Development shall be clustered to preserve and protect significant open space in its natural state.

5.3.4 Provide sufficient passive open space corridors that are contiguous and integrated into local and regional greenway/trail systems.

5.3.5 Include a pedestrian circulation system designed to assure that pedestrians can walk safely and easily on the site, and between properties and activity areas/open space/activity centers/special features. Pedestrian circulation systems shall also be linked with regional connections to open space and trails.

5.3.6 Vehicular circulation systems shall be designed with consideration to the topographic conditions of the land and provide for logical connections to public rights-of-way.

5.3.7 Provide active recreational areas, including, but not limited to, open space, parks and trails in suitable locations that meet the needs of the development and offer convenient access by residents.

5.3.8 A minimum 50-foot open space buffer shall be designated along the northern portion of the property for the purpose of preserving land and a buffer for the proposed East-West Regional Trail.

5.3.9 Connect the Newlin Gulch trail through Region 3 to the Reuter-Hess Reservoir trail system, as identified in the Town's Open Space, Trails and Greenways Master Plan.

5.3.10 Open space shall be used to create a sufficient separation from and transition to the land owned by the Parker Water and Sanitation District as part of the Reuter-Hess Reservoir.

5.3.11 The property owner shall be responsible for all costs and right-of-way dedication associated with all necessary improvements for the extension of

Chambers Road as four lanes, including a four lane bridge, through Region 3.

5.3.12 Access to Chambers Road from Region 3 shall be limited to one (1) access on the north side of Newlin Gulch and one (1) access on the south side of Newlin Gulch. Said southern access shall also serve the Double Angel ball fields and the Reuter-Hess Reservoir.

5.3.13 Site development along the proposed extension of Chambers Road will be adequately setback to establish a greenbelt/trail system, effectively acting as a community separation buffer between the development and this vehicular thoroughfare.

5.3.14 The property owner shall be responsible for supporting the Double Angle ball fields and future indoor training facility as presented in the letter provided by Jehn Engineering on behalf of Glasgow 3 Investments, LLC, at the November 16, 2005, Review Board meeting.

5.3.15 The property owner shall be responsible for dedicating the necessary right-of-way and associated improvements for the new regional east-west roadway connection to Castle Pines Parkway through Region 3.

5.4 Region 4: Lands within Region 4 can only be annexed by the Town if the property owner requests annexation and if contiguity can be established.

5.4.1 Development of lands annexed into the Town within Region 4 shall:

5.4.1.1 Be subject to the planned development guide and preliminary plat approved by the County prior to annexation and subsequently adopted by the Town.

5.4.1.2 Be reviewed by the architectural control committee established by the property owner for commercial development prior to the submission of a formal application to the Town.

5.4.1.2.1 The recommendations of the committee shall be included as part of the submittal to the Town.

5.4.1.2.2 Said committee shall include one (1) representative from the Pinery Planned Development.

5.4.1.3 Only open space, recreational uses and other uses allowed in the planned development guide shall be permitted within the Cherry Creek corridor and 100-year floodplain.

5.4.2 The Town agrees not to pursue annexation of the lands owned by the Pinery Home Owners Association within the Planned Development within

Region 4 while such lands remain under ownership of the Pinery as it's current use.

5.4.3 The Town agrees not to pursue annexation of any lands owned by the Denver Southeast Suburban Water and Sanitation District located within Region 4 while such lands remain under ownership of the District, during the term of this IGA.

5.4.3.1 District facilities, including the wastewater treatment plant, pump stations, wells and sewer and water lines, located within Region 4 shall continue to be permitted as uses by right and shall not be restricted by the Town, during the term of this IGA.

5.4.3.2 Any District facilities shall comply with the regulations of the applicable jurisdiction.

5.5 Development Adjacent to the Community Separation Buffer Area. When the Town evaluates applications for development adjacent to the Community Separation Buffer, consideration will be given to contributing and expanding the buffer area along the fringe of the Town Urban Growth Area.

5.6 Review Process.

5.6.1 The Town shall submit a notice to the County through the standard referral process for all land use applications, except for applications submitted for Region 1.

5.6.2 Land use applications submitted for Region 1 shall be jointly reviewed by the Town and County. Such review shall include jointly held meeting(s) at the staff level in order to develop comments on an application.

5.6.3 The County's referral comments will be based on the provisions of this Plan.

5.6.4 The Town will hold public hearings to the extent provided in the Town's zoning and subdivision regulations, and shall make its final decision in accordance with the Plan and said regulations.

## **6.0 Land Use Applications beyond the Town Urban Growth Area and Community Separation Buffer**

6.1 The Town agrees not to pursue annexation of the residential portions of the Pinery Planned Development.

6.2 The Town agrees not to pursue annexation of the Colorado Horse Park.

## **7.0 Amendments to the Comprehensive Development Plan**

- 7.1 The Town or the County may propose amendments to the Plan in writing.
- 7.2 A property owner may request an amendment to the Plan when:
  - 7.2.1 A petition for annexation of unincorporated land within the Urban Growth Area is denied by the Town; or
  - 7.2.2 A pre-annexation agreement for unincorporated land within the Urban Growth Area cannot be reached with the Town.
- 7.3 Process for Amending the Plan
  - 7.3.1 The party requesting the proposed amendment to the Plan shall submit the proposal in writing to the Director of Community Development of both jurisdictions.
  - 7.3.2 The Directors from both jurisdictions shall jointly make the request that the Review Board convene to hear the proposed amendment.
    - 7.3.2.1 A Review Board consisting of one (1) representative from both the Town and the County shall be appointed by the respective Council and Board.
    - 7.3.2.2 The Review Board shall meet with staff and review the proposed amendment. If necessary, the Review Board may direct staff to research the proposed amendment, and report back with necessary information.
    - 7.3.2.3 The Review Board shall direct staff to forward the proposed amendment to both the Town Council and the Board of County Commissioners, with a recommendation for approval, denial, or no recommendation from the Review Board.
  - 7.3.3 The proposed amendment and the recommendation of the Review Board shall be submitted to both the Town Council and Board of County Commissioners for final decision.
  - 7.3.4 The Town and County will each finalize the request through their respective adoptive processes with their Council/Board taking into consideration the recommendation of the Review Board.
  - 7.3.5 An amendment to the Plan requires approval by the Town Council and Board of County Commissioners. If the Town Council and/or the Board of County Commissioners do not approve the proposed amendment, then the Plan shall not be amended.

## **8.0 Effective Date and Term**

8.1 This Plan shall be effective after: (1) it has been executed by the County and the Town; and (2) the County has adopted conforming amendments to the Douglas County Zoning Resolution. This Plan shall remain in full force and effect for the five-year period commencing on the Initial Effective Date of the Plan, as described in this paragraph. Thereafter, this Plan shall automatically remain in full force and effect for successive five-year terms through the year 2022, unless sooner terminated. This Plan may be terminated on May 14, 2008, or thereafter at the end of a five-year term by a party giving written notice to the other party at least 180 days prior to the expiration of the five-year term. This Plan may also be terminated at any time by mutual agreement of the parties. The term of this Intergovernmental Agreement shall run concurrently with the term of this Plan.

8.1.1 Initial Effective Date of the Plan. The effective date of the Plan is May 14, 2003; the date the Board of County Commissioners adopted conforming amendments to the Douglas County Zoning Resolution.

8.1.2 First Amended Effective Date of the Plan. The amendments to the Plan are effective May 17, 2006.

8.1.3 Second Amended Effective Date of the Plan. The amendments to the Plan are effective June 16, 2008.

8.1.4 Third Amended Effective Date of the Plan. The amendments to the Plan are effective August 25, 2015.

8.1.4.1.5 Fourth Amended Effective Date of the Plan. The amendments to the Plan are effective

## 9.0 Incorporation

9.1 All attachments to this Plan are incorporated herein.

**IN WITNESS WHEREOF**, this mutually binding Comprehensive Development Plan is approved and adopted by the Town of Parker and the Board of County Commissioners of Douglas County as of the date first above written.

TOWN OF PARKER, COLORADO

BY: \_\_\_\_\_  
Mike Waid, Mayor

ATTEST:

\_\_\_\_\_  
Carol Baumgartner, Town Clerk

APPROVED AS TO FORM:

James S. Maloney, Town Attorney

BOARD OF COUNTY COMMISSIONERS OF  
THE COUNTY OF DOUGLAS, COLORADO

BY: David A. Weaver~~Jill A. Repella~~, Chair  
Board of County Commissioners

ATTEST:

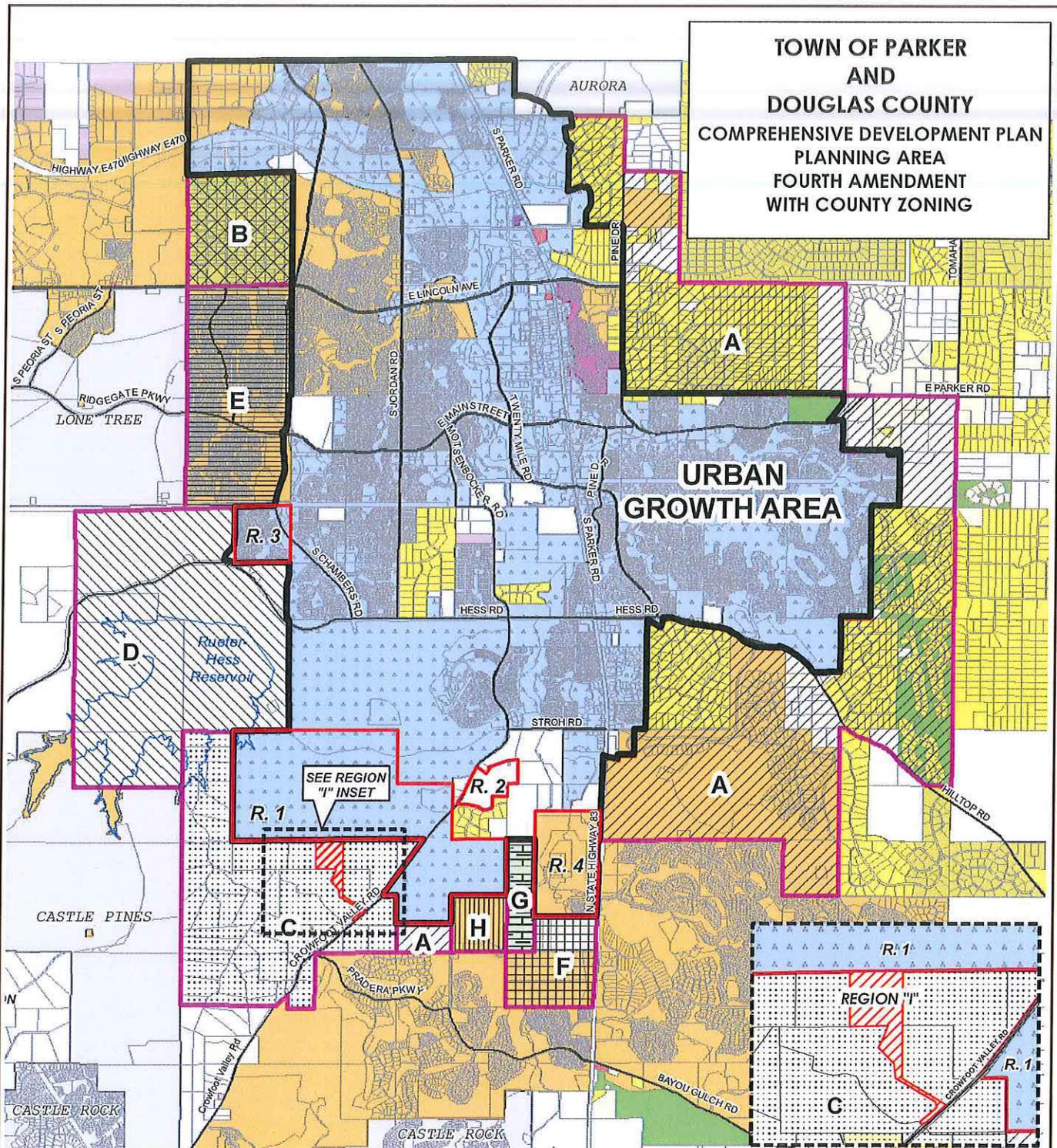
Meghan McCann~~Codie Brenner~~, Deputy Clerk to the Board

APPROVED AS TO FORM:

Lance Ingalls, County Attorney

**ATTACHMENT A  
PLANNING AREA**

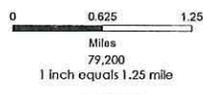
# TOWN OF PARKER AND DOUGLAS COUNTY COMPREHENSIVE DEVELOPMENT PLAN PLANNING AREA FOURTH AMENDMENT WITH COUNTY ZONING



- [Pattern] REGION A
- [Pattern] REGION C
- [Pattern] REGION E
- [Pattern] REGION G
- [Pattern] REGION I
- [Pattern] REGION B
- [Pattern] REGION D
- [Pattern] REGION F
- [Pattern] REGION H
- [Pattern] REGIONS R. 1-4

- ZONING**
- [Color] A1, AGRICULTURAL ONE
  - [Color] SR, SUBURBAN RESIDENTIAL
  - [Color] LL, LIGHT INDUSTRIAL
  - [Color] LRR, LARGE RURAL RESIDENTIAL
  - [Color] LSB, LIMITED SERVICE BUSINESS
  - [Color] PD, PLANNED DEVELOPMENT
  - [Color] RR, RURAL RESIDENTIAL
  - [Color] B, BUSINESS
  - [Color] OS, ZONED OPEN SPACE CONSERVATION
  - [Color] ER, ESTATE RESIDENTIAL
  - [Color] C, COMMERCIAL
  - [Color] COMMUNITY SEPARATION BUFFER
  - [Color] TOWN OF PARKER BOUNDARY
  - [Symbol] RUETER-HESS RESERVOIR
  - [Color] URBAN GROWTH AREA
  - [Color] PARCEL
  - [Symbol] MAJOR RD
  - [Color] OTHER INCORPORATED MUNICIPALITIES

**DRAFT**



June 2016  
Douglas County Community Development Department

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**ATTACHMENT B**  
**PERMITTED USES AND SPECIAL USES MATRIX**

**Zone District Abbreviations**

Agricultural  
Large Rural Residential  
Rural Residential  
Estate Residential  
Suburban Residential  
Business  
Commercial  
Light Industrial  
General Industrial

A-1  
LRR  
RR  
ER  
SR  
B  
C  
LI  
GI

LAND USE/ZONING DISTRICT	A-1	LRR	RR	ER	SR	B	C	LI	GI
Agricultural Recreational Activities	P	P							
Animals									
Horse/Cow/Mule/Llama	P	P	A	A					
Pig/Goat/Sheep/Miniature Horse	P	P	A	A					
Buffalo/Ostrich/Emu/Bees	P	P							
Chicken/Turkey/Duck	P	P	A	A					
Dog/Can/Pot-bellied Pig	P	P	A	A	A				
Wolf/Bear/Snake/Mtn. Lion	USR	USR							
Kennel									
Automobile Service/Repair								P	P
Automobile Service Station with gas pumps						P	P	P	P
Bank/Financial Institution						P	P	P	P
Bar/Lounge						P	P	P	P
Batch Plant - asphalt/concrete									P
Bed and Breakfast									
Building Materials - retail/wholesale	USR	USR	USR	USR				P	P
Campground	USR	USR							
Cemetery	USR	USR							
Chemical Storage/Transfer/Disposal (incl. hazardous)									USR
Church - max. seating capacity 350	P	P	P	P	P	P	P	P	P
Church - seating capacity greater than 350	USR								
Club/Country Club						P	P	P	P
College						P	P	P	P
Construction Office - temporary	P	P	P	P	P	P	P	P	P
Convention/Conference Center						P	P	P	P
Cultural Facility	USR	USR							
Day-Care Center	USR								
Day-Care Facility for employees' children						P	P	P	P
Day-Care Home - small	A	A	A	A	A				
Day-Care Home - large	USR	USR	USR	USR	USR				
Dude Ranch	USR	USR							

P = Principal Use, A = Accessory Use, USR = Use by Special Review, blank space = Not Permitted USRA=USR Accessory Use

**LAND USE/ZONING DISTRICT**

	A-1	LRR	RR	ER	SR	B	C	LI	GI
Entertainment Event	USR								
Equipment Rental								P	P
Equipment Rental - small								P	P
Extended-Care Facility						P			
Farming/Ranching	P	P							
Feed Lot/confinement center									
Fire Station - no training	P	P	P	P	P	P	P	P	P
Fire Station - w/training facilities						P	P	P	P
Firing Range - indoor	USRA					P	P	P	P
Firing Range - outdoor	USR								
Golf Course								P	P
Greenhouse - 1 acre max.	P	P						P	P
Greenhouse - Greater than 1 acre	USR							P	P
Group Home	P	P	P	P	P				
Group Home for Registered Sex Offenders									
Group Residential Facility	USR	USR				USR	USR	USR	
Guest House	A	A	A						
Hazardous Materials Storage/Transfer									USR
Helipad								USR	USR
Home Occupation									
Class 1	A	A	A	A	A				
Class 2	A	A	A	A	A				
Exceeding Class 2 thresholds	USR								
Horse Boarding	*	*	*	*	*				
Horse Rental Stable	USR	USR							
Hospital									
Hotel						P	P	P	P
Hunting/Fishing Club						P	P	P	
In-Home Elder Care	USR								
Jail/Correctional Facility	A	A	A	A	A				
Junk Yard									
Kenel - dog/cat									USR

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LAND USE/ZONING DISTRICT	A-1	LRR	RR	ER	SR	B	C	LI	GI
Landfill – public/private									USR
Landing Field – private	USRA								USRA
Library	P	P	P	P	P	P	P	P	P
Manufacturing Operations								P	P
Mini Warehouse							P	P	P
Mining/Quarry									USR
<b>Mining/Quarry - Region I</b>	<b>USR</b>								
Motel						P	P		
Motor Vehicle/Equipment Service/Repair							P	P	P
Nursing Home						P	P		
Office –						P	P	P	P
General/Medical/Professional/Government									
Office – Temporary						P	P	P	P
Oil/Gas Drilling									
Open Space/Trails	P	P	P	P	P	P	P	P	P
Park/Playground	P	P	P	P	P	P	P	P	P
Parking Lot – public/private						P	P	P	P
Product Distribution/Storage (no hazardous materials)								P	P
Propane Distribution/Storage									USR
Quarry									
Ranching	P	P							
Recreation Facility									
Community							P		
Neighborhood			P	P	P				
Indoor						P	P	P	P
Outdoor							P	P	P
Recreational Vehicle Storage Lot								P	P
Recycle/Trash Transfer Facility									P
Research and Development Facility								P	P
Residence									
Caretaker	P	USR							

P = Principal Use A = Accessory Use, USR – Use by Special Review, blank space = Not Permitted USRA Accessory Use

LAND USE/ZONING DISTRICT

	A-1	LRR	ER	ER	SR	B	C	LI	GI
Caretaker - mobile home	USR	USR							
Employee/Management Housing						A	A	A	USR
Mobile Home - permanent	USR	USR							
Multifamily						USR	USR	USR	
Single-Family	P	P	P	P	P				
Single-Family attached									
Temporary	P		P	P	P			USR	
Restaurant/Fast Food (including drive-up facility)						P	P	P	P
Retail/Service Business - indoor						P	P	P	
Retail/Service Business - outdoor						P	P		
Retirement Home									
Retreat - Religious	USR								
Sales Office - temporary			P	P	P				
Satellite Dish	A	A	A	A	A	A	A	A	A
Satellite Earth Station	USR							P	P
Satellite Earth Station (exceeding max. height/height standards)	USR							USR	USR
Sawmill-portable	USRA	USRA							
School - private/public (K-12)	P	P	P	P	P	P	P	P	P
Seasonal Use						P	P	P	P
Septic Waste and Sludge - Land Application	USR								USR
Sewage Treatment									
Sexually Oriented Business							P		
Sheriff Station (no training/detention)	P	P	P	P	P	P	P	P	P
Sheriff Station						P	P	P	P
Storage Area - commercial							A	P	P
Telecommunication Facility								P	P
Telecommunication Facilities (exceeding max height/health standards)								USR	USR
Temporary Uses	P	P	P	P	P				
Theater - indoor									
Theater - outdoor						P	P	P	

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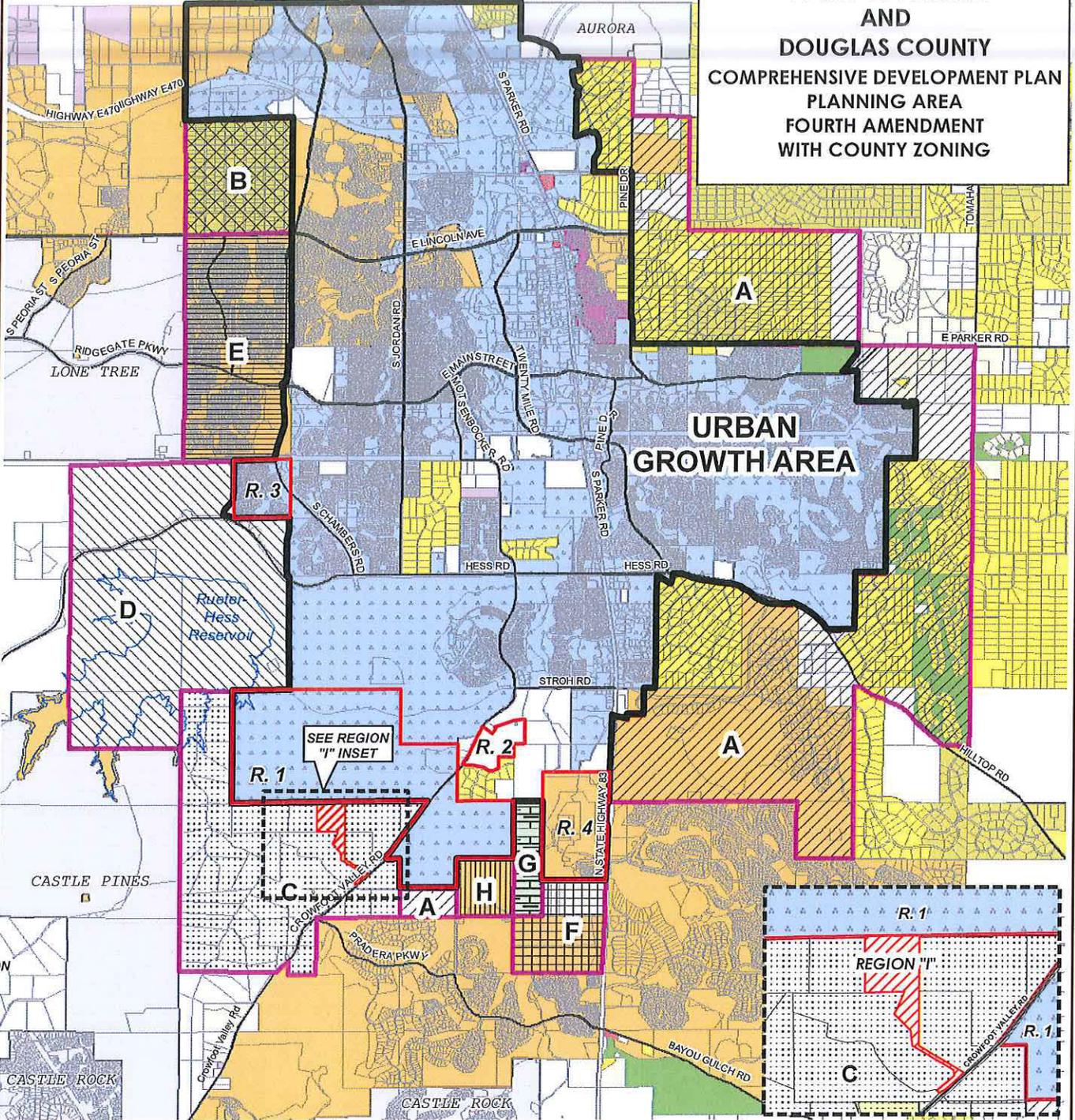
**LAND USE/ZONING DISTRICT**

	A-1	LRR	RR	ER	SR	B	C	LI	GI
Training of Horses/Riders (max. of 14/week)	P	P	A	A					
Tree Farming	P	P							
University									
Utility - major facility	USR	USR	USR	USR	USR	P	P	P	P
Utility Service Facility	P	P	P	P	P	P	USR	P	P
Veterinary Clinic/Hospital	USR	USR				P	P	P	P
Warehouse								P	P
Water Treatment/Storage									
Wholesale Business - sales/service								P	P
Wind Energy Conversion System	USR	USR	USR						
Youth-Oriented Agricultural Activities	P	P	P	P					
Zoo							USR		

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**ATTACHMENT C  
ZONING MAP**

**TOWN OF PARKER AND DOUGLAS COUNTY COMPREHENSIVE DEVELOPMENT PLAN PLANNING AREA FOURTH AMENDMENT WITH COUNTY ZONING**

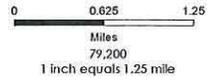


- REGION A
- REGION B
- REGION C
- REGION D
- REGION E
- REGION F
- REGION G
- REGION H
- REGION I
- REGIONS R. 1-4

**ZONING**

- A1, AGRICULTURAL ONE
- LRR, LARGE RURAL RESIDENTIAL
- RR, RURAL RESIDENTIAL
- ER, ESTATE RESIDENTIAL
- SR, SUBURBAN RESIDENTIAL
- LSB, LIMITED SERVICE BUSINESS
- B, BUSINESS
- C, COMMERCIAL
- LI, LIGHT INDUSTRIAL
- PD, PLANNED DEVELOPMENT
- OS, ZONED OPEN SPACE CONSERVATION
- COMMUNITY SEPARATION BUFFER
- TOWN OF PARKER BOUNDARY
- PARCEL
- RUETER-HESS RESERVOIR
- MAJOR RD
- OTHER INCORPORATED MUNICIPALITIES

**DRAFT**



June 2016  
Douglas County Community Development Department

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Community Development / Planning  
Philip S. Miller, EPLG, 100 Third St.  
Castle Rock, Colorado 80104

**ATTACHMENT D**  
**APPROVAL STANDARDS FOR SPECIAL USES**

## APPROVAL STANDARDS FOR SPECIAL USES

A Special Use shall be approved only if the Board of County Commissioners finds that the proposed special use:

- ❖ Complies with the minimum zoning requirements of the zoning district in which the special use is to be located, as set forth in the Douglas County Zoning Resolution in effect as of the date of this Plan;
- ❖ Complies with the requirements of Section 21, Use By Special Review, as set forth in the Douglas County Zoning Resolution in effect as of the date of this Plan;
- ❖ Complies with the Douglas County Subdivision Resolution, in effect as of the date of this Plan;
- ❖ Will be in harmony and compatible with the character of the surrounding areas and neighborhood;
- ❖ Will be consistent with the Douglas County Comprehensive Master Plan;
- ❖ Will not result in an over-intensive use of land;
- ❖ Will provide roadway capacity necessary to maintain the adopted roadway level-of-service for the proposed development concurrently with the impacts of such development.
- ❖ Will provide public facilities and services necessary to accommodate the proposed development concurrently with the impacts of such development.
- ❖ Will not require a level of community facilities and services greater than that which is available;
- ❖ Will not cause significant air, water, or noise pollution;
- ❖ Will be adequately landscaped, buffered, and screened;
- ❖ Complies with the following standards regarding water supply as set forth in the Douglas County Zoning Resolution in effect as of the date of this Plan;
  - If it is demonstrated that the use by special review will not generate any ongoing water demand, no proof of water supply shall be required and no other provisions of Section 18A - Water Supply Overlay District shall be applicable.
  - If it is demonstrated that the use by special review, when located on a conforming parcel within the A-1 or LRR zone district, will generate a water demand not to exceed three (3) acre-feet per year, and that the demand can be supplied by a groundwater well which has or is capable of receiving a permit from the Colorado Division of Water Resources for such use, this standard shall be met and no other

provisions of Section 18A – Water Supply Overlay District shall be applicable. Water demands shall be estimated in accordance with the Minimum Water Demand Standards defined in Section 18A.

- For all other use by special review applications, the applicant shall demonstrate conformance with Section 18A - Water Supply Overlay District, herein.
- ❖ Will not otherwise be detrimental to the health, safety, or welfare of the present or future inhabitants of Douglas County.



**Community Development Department Memorandum  
Development Review Division**

**To:** Town of Parker Planning Commission

**From:** Stacey Neger, Associate Planner *SN*  
Bryce Matthews, AICP, Planning Manager *BM*

**Through:** Jason Rogers, AICP, Deputy Community Development Director *JRR*

**Date:** December 1, 2016

**Regarding:** Public Hearing: Blair Industrial Center Lot 25 – Use by Special Review  
[Case No. Z16-032]

**Section I.  
Subject & Proposal:**

**Location:** Southwest corner of Progress Way and Progress Lane

**Applicant:** Kari Solberg, K-9 State of Mind

**Proposal:** The applicant proposes a Use by Special Review to allow a dog training and boarding facility.

**Section II.  
Background:**

**History:** The property was annexed in 2011 as part of the Progress Lane Area Annexation and Zoned Progress Lane Area Planned Development (PD).

**Land Use Summary Data:**

**Total Area:** 0.75 acre (32,670 square feet)

**Zoning:** Progress Lane Area Planned Development (PD)

**Existing Use:** The property currently consists of two buildings with light industrial uses.

### **Surrounding Zoning**

**& Land Use:**       **North:**Progress Lane Area Planned Development (PD) – existing light industrial uses  
                              **East:** Progress Lane Area Planned Development (PD) – existing light industrial uses  
                              **South:** LI – Light Industrial Zoning – existing light industrial uses  
                              **West:** Progress Lane Area Planned Development (PD) – existing light industrial uses

<b>Section III.</b> <b>Analysis:</b>
---

#### **Conformance with Land Development Ordinance:**

Lot 25 of the Blair Industrial Center is located within the LI-Light Industrial designation of the Progress Lane Area PD. The Progress Lane Area PD follows the Light Industrial standards within the Town Land Development Ordinance and states, animal training and boarding requires a Use by Special Review. The use is proposed to be located in the eastern most building on the property.

#### **Characteristics of Use:**

The dog training and boarding facility, K-9 State of Mind, specializes in training and boarding difficult and aggressive dogs. K-9 State of Mind works with these dogs to help rehabilitate them into upstanding inhabitants of the Town. The facility will allow for training and boarding of the dogs. The hours of operation for the dog training portion of the use will be 7:30 a.m. to 7:00 p.m. The applicant is proposing to construct a fenced-in area for the dogs. This area will be used primarily for bathroom purposes. Dogs will be supervised when using the outdoor fenced area.

#### **Parking:**

The subject property was constructed in Douglas County prior to annexation into the Town. There are 20 parking spaces provided on site. The applicant will be taking the entire eastern building which is approximately 5,020 square feet. The minimum parking requirements for dog training and boarding is 1 parking space per 400 square feet of ground floor area. The applicant will be required to have a total of 13 parking spaces. Therefore, the addition of the dog training and boarding facility will not negatively impact parking for the development.

#### **Utilities:**

Parker Water and Sanitation District, Xcel Energy and IREA will continue to provide utility service to the development.

#### **Major Roads, Access and Circulation:**

There are no proposed changes to the existing vehicular access or traffic circulation.

**Section IV.**  
**Additional Staff Findings:**

The Town of Parker Land Development Code, §13.04.240(f), specifies nine criteria to be used in evaluating zoning requests. If the proposed use meets these criteria, or can meet them subject to reasonable mitigation conditions, the use may be approved.

**1. Will be in harmony and compatible with the character of the surrounding areas and neighborhood;**

*Applicant analysis and findings:*

The surrounding areas of 6280 E Progress Lane are light industrial-zoned buildings. A dog training and boarding facility is perfectly suited to the building style, as well as the neighborhood. Necessary improvements are minimal to provide a safe and secure environment for the dogs, and disruptions to the neighborhood are minimal as it is a thriving industrial zone as opposed to a housing neighborhood.

*Staff analysis and findings:*

The dog training and boarding facility is proposing to move into an existing building within a light industrial area of the Town. The existing building was constructed for light industrial uses which included the installation of additional insulation for noise mitigation. The insulation will alleviate the potential for noise nuisance from barking dogs.

The applicant is proposing to construct an outdoor fenced-in area which dogs will be allowed to use. All outdoor uses and activities are proposed to be monitored by staff to limit disturbance to the surrounding properties.

The applicant's actions to mitigate the potential for noise and pet waste impacts as well as the properties location within a light industrial area of the Town with no residential land uses adjacent will ensure the use is in harmony and compatible with the character of the surrounding neighborhood and uses.

**2. Will be consistent with the Town Master Plan;**

*Applicant analysis and findings:*

According to the Master Plan, a few of the important pieces noted are keeping a small town character, occupying vacant commercial buildings with businesses, bringing jobs into the town, and supporting unique local businesses. K-9 State of Mind, LLC makes it a point to be involved with the community by hosting free Community Pack Walks on a weekly basis and will continue to contribute to the small town character of Parker in new and creative ways with our facility.

We also will be supplying a number of unique job opportunities, and are a locally owned business started in Parker.

***Staff analysis and findings:***

The property is located within the Light Industrial District of the Town's Master Plan. The Master Plan identifies the Light Industrial District as an area to provide for a variety of work processes such as manufacturing, machine shops, warehouses, commercial services and other uses of similar character. Dog training and boarding is classified as a commercial service which is consistent with the intent of the Master Plan.

**3. Will not result in an over-intensive use of land;**

***Applicant analysis and findings:***

Our plan for the facility is to utilize the indoor space for the dogs to socialize, train and board. A small exterior yard for potty purposes is being proposed. The yard will be surrounded with 6-foot wood privacy fencing, topped with coyote rollers to ensure dogs will not jump over the fence. This facility is perfectly suited to this use, with this minor addition.

***Staff analysis and findings:***

The applicant is proposing to construct an enclosed area for the dogs on the property. No additional modifications to the property are being proposed. The dog training and boarding use will not result in an over-intensive use of the land as the use will be moving into an existing building.

**4. Will not have a material adverse effect on community capital improvement programs;**

***Applicant analysis and findings:***

To the best of our knowledge, there will be no effect on any capital improvement programs.

***Staff analysis and findings:***

This use will not adversely affect capital improvement programs as the use will not negatively impact roads, utilities, or storm drains beyond their existing designed capacity. The use will occupy an existing structure and tenant improvements will be designed to accommodate the dog training and boarding use.

**5. Will not require a level of community facilities and services greater than that which is available;**

***Applicant analysis and findings:***

K-9 State of Mind, LLC hopes to become an additional community service through its business operations. Dog owners that are not able to board their dogs in any of the existing facilities in

Parker due to behavior issues will be given an opportunity to better their dog's behavior with a combination of services that we can provide with this facility. We also plan to host weekly "Socials", where dogs that can't be successful or safe in a traditional dog park, can have the opportunity to safely socialize with other dogs in a structured and monitored environment. Our hope is to help keep dog-friendly businesses and facilities safe in order to keep that unique aspect of Colorado life alive in Parker.

***Staff analysis and findings:***

The proposed use will locate in an existing building in a designated light industrial development. This use is not anticipated to generate demand for additional municipal services (police, street maintenance, drainage facility maintenance, etc.) or facilities (parks, recreation center usage, etc.) beyond which the Town currently provides. Therefore, the proposed use will not require a level of community facilities and services greater than presently available to serve the site.

**6. Will not result in undue traffic congestion or traffic hazards;**

***Applicant analysis and findings:***

The 6280 E Progress Lane property has ample parking spaces available in its immediate surroundings, and a perfect traffic flow entering from Progress Way and exiting through a back alleyway on to Progress Lane and back to Dransfeldt Road.

***Staff analysis and findings:***

This property has vehicular access from Progress Drive. Employees, customers and their pets will arrive and depart at various times during the hours of operation. The proposed use is not anticipated to generate significant traffic volumes or lead to congestion which might result in undue traffic hazards.

**7. Will not cause significant air, water or noise pollution;**

***Applicant analysis and findings:***

Careful dedication to the proper disposal of animal waste will prevent any air and water pollution. At K-9 State of Mind, LLC we take a unique approach to providing added stimulation and exercise in order to keep our facilities quiet and nuisance-free. Barking dogs are often a concern with boarding facilities but because we take the time to have an enriched environment and meet each dog's individual needs, noise pollution should not be a major issue.

***Staff analysis and findings:***

The property is located within the light industrial area of the Town. The existing structure was built for industrial uses which when constructed included additional insulation which will help mitigate sounds normally associated with dog training and boarding including barking dogs. The applicant's plan for pet waste removal will mitigate the potential (if any) for significant air and

water pollution. Therefore the veterinary clinic use will not cause significant air, water or noise pollution.

**8. Will be adequately landscaped, buffered and screened; and**

***Applicant analysis and findings:***

K-9 State of Mind, LLC is taking extra precautionary measures to ensure the safety of the dogs in our care. A 6-foot exterior privacy fence will be topped with coyote rollers to prevent jumping, and will also be landscaped at the base to prevent any digging.

***Staff analysis and findings:***

The property is currently bound by roads on two sides with landscaping surrounding the existing building. In order to maintain the landscaping and cleanliness of the site the applicant is proposing to construct a fenced in area for the dogs to use. Pet waste will be removed multiple times per day. The applicant's proposal will ensure that the use does not negatively impact the existing landscaping.

**9. Will not otherwise be detrimental to the health, safety or welfare of the present or future inhabitants of the Town.**

***Applicant analysis and findings:***

A goal of ours is to positively impact the safety of the Town of Parker by working with dangerous and aggressive dogs in order to rehabilitate them into upstanding inhabitants of the Town. This can help impact the number of dog bite incidents and loose dogs in the Town among other things.

***Staff analysis and findings:***

The dog training and boarding facility will provide a necessary service to Parker residents and their pets. The negative impacts created by dog training and boarding uses in this location are minimal if any. The measures being taken by the applicant to mitigate and eliminate the potential for negative impacts ensure that the use will not be detrimental to the health, safety and welfare of present or future inhabitants of the Town. The applicant will work to ensure pet health and welfare and not be detrimental to the health, safety or welfare of present or future inhabitants of the Town.

**Section V.**

**Referral Agency Comments:**

Below are the condensed versions of referral responses received from affected agencies:

**Town of Parker Engineering Dept.:**

No comment

**Parker Water & Sanitation District:**

Approved

**Town of Parker Building:**

A building permit will be required for any interior or exterior work.

**Town of Parker Fire/Life Safety:**

Approved

**Town of Parker Comprehensive Planning:**

No comment

**Town of Parker Police Department:**

No comment

**Town of Parker Economic Development:**

No comment

**IREA:**

No comment

**Xcel Energy:**

No conflict

**CenturyLink:**

No comment

**Comcast:**

No comment

**Section V.**

**Recommendation:**

Staff recommends that the Planning Commission recommend that the Town Council approve the Blair Industrial Center Lot 25 Use by Special Review request to allow a dog training and boarding facility with the following conditions:

1. That the Use by Special Review materials submitted to the Community Development Department on September 27, 2016 shall be the approved Use by Special Review materials.
2. A building permit shall be required for any interior or exterior work completed on site.
3. A Site Plan Amendment shall be submitted, reviewed and approved prior to issuance of a building permit to construct the proposed fence enclosure on site.
4. **THIS APPROVAL SHALL EXPIRE SIX (6) MONTHS AFTER THE DATE OF APPROVAL UNLESS A GRADING PERMIT OR BUILDING PERMIT HAS BEEN APPLIED FOR.** The Community Development Director, upon written request, may grant a ninety-(90) day extension.
5. This approval **DOES NOT** include signage. A separate sign permit is required from the Community Development Department. The applicant shall also contact the Building Division regarding electrical and structural requirements associated with the sign permit.

**Section VI.**

**Attachments:**

1. Vicinity Map
2. Applicant Project Narrative

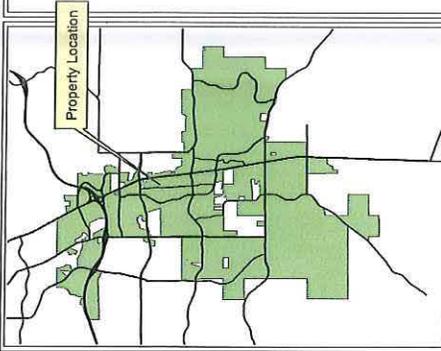
**Section VII.**

**Proposed Motion(s):**

*"I move that the Planning Commission recommend the Town Council approve the Blair Industrial Center Lot 25 Use by Special Review request to allow a dog training and boarding facility with the five conditions outlined in staff's report."*

# Blair Industrial Center Lot 25

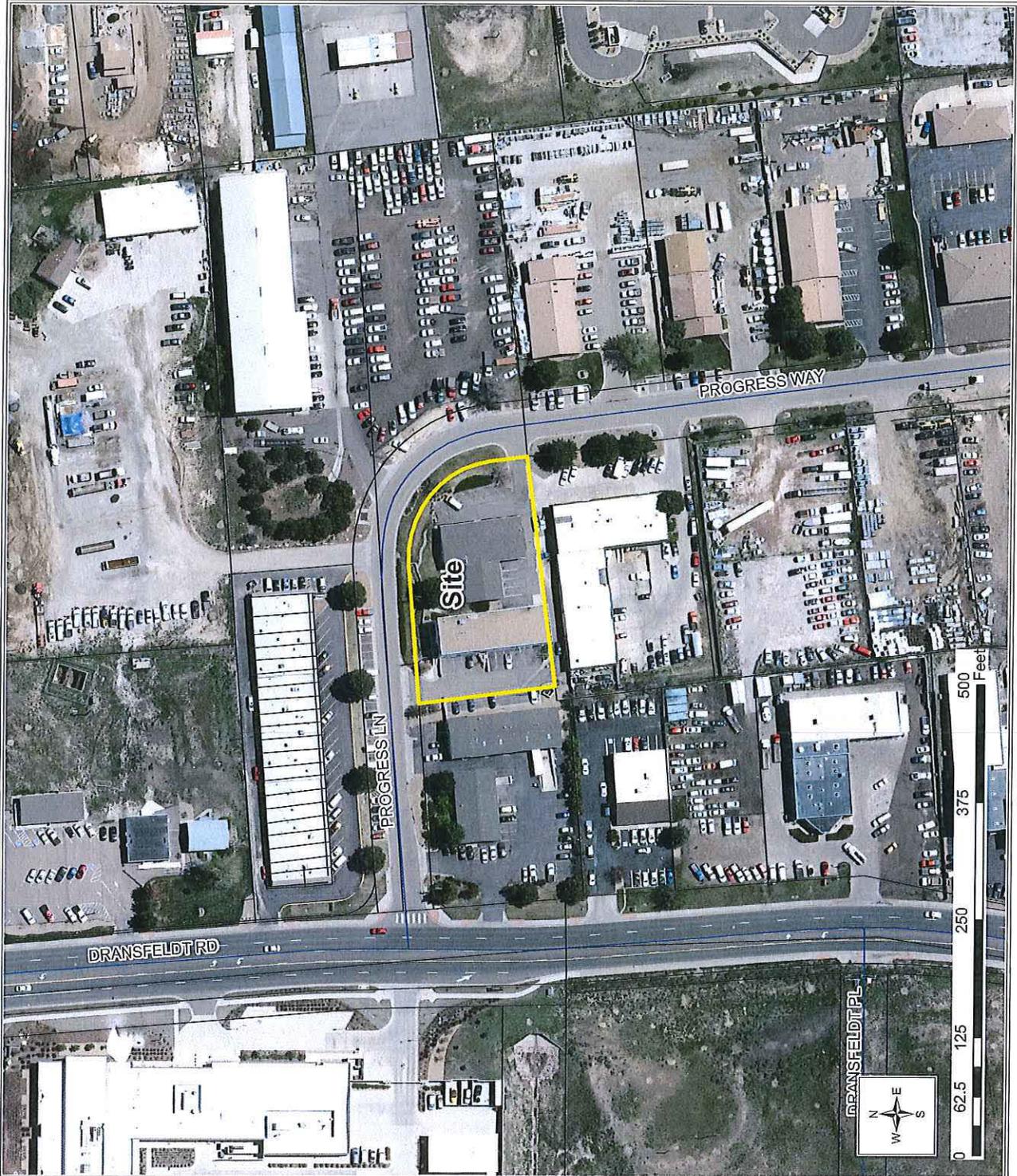
## Use by Special Review



- Legend**
- Town Boundary
  - Site
  - Parcels

**Narrative:**  
Use by Special Review to allow a dog training and boarding facility on the property.

**Planner:** Stacey Neger  
**Project Schedule:**  
**Planning Commission Date:** December 1, 2016  
**Town Council Date:** December 5, 2016



Requested Application in Detail:

K-9 State of Mind, LLC seeks to obtain a Use by Special Review Permit in order to bring a unique dog training and boarding facility to Parker, Colorado. K-9 State of Mind, LLC specializes in dealing with difficult and aggressive dogs. This is a market that is highly underserved in the Parker area and has proven a great need in the year-plus we have been in business. Our goal is to rehabilitate even the toughest cases in order to reinstate harmony between the dog and its owner, as well as to better the local community of Parker. We work with dogs that have flunked out of other training programs, and that are unable to be boarded in a typical facility due to their behavior issues. With our comprehensive approach to dog behavior, we are able to witness great success in rehabilitation.

Addressing the 9 Criteria for approval:

1. The surrounding areas of 6280 E Progress Lane are light industrial-zoned buildings. A dog training and boarding facility is perfectly suited to the building style, as well as the neighborhood. Necessary improvements are minimal to provide a safe and secure environment for the dogs, and disruptions to the neighborhood are minimal as it is a thriving industrial zone as opposed to a housing neighborhood.

2. According to the Master Plan, a few of the important pieces noted are keeping a small town character, occupying vacant commercial buildings with businesses, bringing jobs into the town, and supporting unique local businesses. K-9 State of Mind, LLC makes it a point to be involved with the community by hosting free Community Pack Walks on a weekly basis and will continue to contribute to the small town character of Parker in new and creative ways with our facility. We also will be supplying a number of unique job opportunities, and are a locally owned business started in Parker.

3. Our plan for the facility is to utilize the indoor space for the dogs to socialize, train, and board. A small exterior yard for potty purposes is being proposed. The yard will be surrounded with 6 foot wood privacy fencing, topped with coyote rollers to ensure dogs will not jump over the fence. This facility is perfectly suited to this use, with this minor addition.

4. To the best of our knowledge, there will be no effect on any capital improvement programs.

5. K-9 State of Mind, LLC hopes to become an additional community service through its business operations. Dog owners that are not able to board their dogs in any of the existing facilities in Parker due to behavior issues will be given an opportunity to better their dog's behavior with a combination of services that we can provide with this facility. We also plan to host weekly "Socials", where dogs that can't be successful or safe in a traditional dog park, can have the opportunity to safely socialize with other dogs in a structured and monitored environment. Our hope is to help keep dog-friendly businesses and facilities safe in order to keep that unique aspect of Colorado life alive in Parker.

6. The 6280 E Progress Lane property has ample parking spaces available in its immediate surroundings, and a perfect traffic flow entering from Progress Way and exiting through a back alleyway on to Progress Lane and back to Dransfeldt Road.

7. Careful dedication to the proper disposal of animal waste will prevent any air and water pollution. At K-9 State of Mind, LLC we take a unique approach to providing added stimulation and exercise in order to keep our facilities quiet and nuisance-free. Barking dogs are often a concern with boarding facilities but because we take the time to have an enriched environment and meet each dog's individual needs, noise pollution should not be a major issue.

8. K-9 State of Mind, LLC is taking extra precautionary measures to ensure the safety of the dogs in our care. A 6-foot exterior privacy fence will be topped with coyote rollers to prevent jumping, and will also be landscaped at the base to prevent any digging.

9. A goal of ours is to positively impact the safety of the Town of Parker by working with dangerous and aggressive dogs in order to rehabilitate them into upstanding inhabitants of the

Town. This can help impact the number of dog bite incidents and loose dogs in the Town among other things.

# Town of Parker Engineering

Edit Review

**Z16-032**

Review Type **USE BY SPECIAL REVIEW - PW**

Reviewer **Tom Williams**

Date Sent **10/5/2016** Today

Date Due **11/2/2016** Today

Status **NO COMMENT**

Remarks

Date Returned **10/17/2016** Today

Add to Timesheet

**+ Add Standard Notes**

Save

Cancel

# Town of Parker Building

Edit Review

**Z16-032**

Review Type **Building 20**

Reviewer **Gil Rossmiller**

Date Sent **10/5/2016** Today

Date Due **11/2/2016** Today

Status **ADVISORY COMMENTS**

Remarks

Date Returned **10/31/2016** Today

Add to Timesheet

**+ Add Standard Notes**

10/31/2016 1:00:28 PM (Gil Rossmiller)  
A building permit will be required for any interior or exterior work. ✓

Save Cancel

# Town of Parker Comprehensive Planning

Edit Review

**Z16-032**

Review Type **Comprehensive Planning 20**

Reviewer **Bryce Matthews** ▼

Date Sent **10/5/2016** [calendar icon] Today

Date Due **11/2/2016** [calendar icon] Today

Status **NO COMMENT** ▼

Remarks

Date Returned **11/4/2016** [calendar icon] Today

Add to Timesheet

**+ Add Standard Notes**

**Save** **Cancel**

# Town of Parker Economic Development

Edit Review

**Z16-032**

Review Type **Economic Development 20**

Reviewer **Weldy Fezell**

Date Sent **10/5/2016** Today

Date Due **11/2/2016** Today

Status **NO COMMENT**

Remarks

Date Returned **10/6/2016** Today

Add to Timesheet

**+ Add Standard Notes**

**Save** **Cancel**

# Town of Parker Fire Life Safety

Edit Review

**Z16-032**

Review Type	<b>FIRE LIFE SAFETY 20</b>	<a href="#">+ Add Standard Notes</a>
Reviewer	<b>Randy Capra</b> ▼	<div style="border: 2px solid yellow; height: 60px; width: 100%;"></div>
Date Sent	<b>10/5/2016</b> <input type="text"/> Today	
Date Due	<b>11/2/2016</b> <input type="text"/> Today	
Status	<b>APPROVED</b> ▼	
Remarks	<input type="text"/>	
Date Returned	<b>10/5/2016</b> <input type="text"/> Today	
Add to Timesheet	<input type="text"/>	

[Save](#) [Cancel](#)

IREA

Edit Review

**Z16-032**

Review Type	IREA 20	<a href="#">+ Add Standard Notes</a>
Reviewer	Brooks Kaufman	
Date Sent	10/5/2016 <input type="text"/> Today	
Date Due	11/2/2016 <input type="text"/> Today	
Status	NO COMMENT	
Remarks	<input type="text"/>	
Date Returned	10/6/2016 <input type="text"/> Today	
Add to Timesheet	<input type="text"/>	

[Save](#) [Cancel](#)

# Parker Water and Sanitation District

Edit Review

**Z16-032**

Review Type **Parker Water and Sanitation District 20** + Add Standard Notes

Reviewer **Robert Ramsey** ▼

Date Sent **10/5/2016** [calendar icon] Today

Date Due **11/2/2016** [calendar icon] Today

Status **APPROVED** ▼

Remarks

Date Returned **10/24/2016** [calendar icon] Today

Add to Timesheet

Save Cancel

# Public Service Company of Colorado

Edit Review

**Z16-032**

Review Type **Public Service Company of Colorado 20**

 **Add Standard Notes**

Reviewer **Donna George** ▼

Date Sent **10/5/2016**  Today

Date Due **11/2/2016**  Today

Status **NO COMMENT** ▼

Remarks **no conflict**

Date Returned **10/14/2016**  Today

Add to Timesheet

**10/14/2016 7:29:12 AM (Donna George)**  
**no conflict** 

Save

Cancel

**Town of Parker Police**

No comment submitted

**CenturyLink**

No comment submitted

**Comcast**

No comment submitted