

2015

**Town
of
Parker**

**[PINE CURVE PLANNED
DEVELOPMENT]**

DEVELOPMENT GUIDE

Table of Contents

GENERAL PROVISIONS:	4
I. PURPOSE:	4
II. INTENT:	4
I. APPLICATION:	5
II. CONTROL:	6
III. INCORPORATION OF DEVELOPMENT PLAN:	6
IV. CONFLICTS:	6
AUTHORITY	6
I. AUTHORITY	6
II. ADOPTION:	6
III. ENFORCEMENT:	7
SITE DEVELOPMENT PRINCIPLES	7
I. PEDESTRIAN & BICYCLE FACILITIES, STREETScape AND SCREENING:	7
II. MULTIMODAL CIRCULATION	9
III. ARCHITECTURAL STANDARDS - For Planning Areas 1, 2 and 3:	10
A. ARCHITECTURAL ELEMENTS, ARTICULATION, AND BUILDING MATERIALS:	10
IV. ACTIVE SPACES AND GATHERING AREAS For Planning Areas 1,2 and 3:	12
V. SIGNAGE:	13
VI. SUSTAINABLE DESIGN:	13
VII. PARKING STRUCTURE DESIGN GUIDELINES:	13
PLANNING AREA 1- COMMUNITY COMMERCIAL	14
I. PURPOSE:	14
II. USES PERMITTED BY RIGHT:	14
A. OFFICE, RETAIL, INDOOR ENTERTAINMENT AND SERVICE COMMERCIAL:	14
B. GOVERNMENT, CIVIC AND HIGHER EDUCATION:	15
III. PERMITTED ACCESSORY USES:	15
IV. SITE DESIGN & DEVELOPMENT:	15
A. MASS AND SCALE in PA1:	15
B. BUILDING DESIGN:	16
PLANNING AREA 2 – DOWNTOWN CHARACTER EXTENSION	17
I. PURPOSE:	17
II. ENTRY GATEWAY FEATURES:	17
III. USES PERMITTED BY RIGHT:	17

A. GROUND (FIRST) FLOOR ADJACENT TO PRIMARY ACCESS DRIVE	
USES PERMITTED BY RIGHT:	17
B. UPPER FLOORS:	
IV. PERMITTED ACCESSORY USES:	18
V. SITE DESIGN & DEVELOPMENT:	18
A. MASS AND SCALE in PA2:	18
B. BUILDING DESIGN:	19
PLANNING AREA 3 - COMMERCIAL EAST	23
I. PURPOSE:	24
II. USES PERMITTED BY RIGHT:	24
A. OFFICE, RETAIL, INDOOR ENTERTAINMENT AND SERVICE COMMERCIAL:	24
B. GOVERNMENT, CIVIC AND HIGHER EDUCATION:	25
<u>C. AGE RESTRICTED MULTI FAMILY HOUSING:</u>	20
III. PERMITTED ACCESSORY USES:	25
IV. SITE DESIGN & DEVELOPMENT:	25
A. MASS AND SCALE in PA3:	25
B. BUILDING DESIGN:	26
PLANNING AREA 4 – RESIDENTIAL, COMMERCIAL OUTDOOR EVENT SPACE & BUFFER	27
I. PURPOSE:	27
II. USES PERMITTED BY RIGHT:	27
III. PERMITTED ACCESSORY USES:	27
IV. ARCHITECTURAL STANDARDS	28
A. ARCHITECTURAL ELEMENTS, ARTICULATION AND BUILDING MATERIALS:	28
V. MASS AND SCALE in PA4:	28
VI. OTHER SITE DEVELOPMENT STANDARDS:	28
PLANNING AREA 5 – EVENTS VENUE, LIMITED COMMERCIAL & BUFFER	30
I. PURPOSE:	30
II. USES PERMITTED BY RIGHT:	30
III. PERMITTED ACCESSORY USES:	30
IV. ARCHITECTURAL STANDARDS	30
A. ARCHITECTURAL ELEMENTS, ARTICULATION AND BUILDING MATERIALS:	30
V. MASS AND SCALE:	31
VI. OTHER SITE DEVELOPMENT STANDARDS:	31

GENERAL PROVISIONS:

I. PURPOSE:

The purpose of the Pine Curve Planned Development Guide (hereinafter referred to as “Development Guide”), is to designate zoning regulations that support the objectives and policies in the Parker 2035 Master Plan, the Transportation Master Plan and the Mainstreet Master Plan. This Development Guide establishes standards for comprehensive development and improvement of the real property contained within the Development Plan described herein (the “Property”).

The Development Guide provides opportunities to create a well-planned retail center with innovative and unique design and a downtown character through excellent design standards. A mix of appropriate neighborhood serving land uses (horizontal or vertical mix of uses) will ensure development flexibility necessary to adapt to changing community needs and result in sustainable, compatible development that serves, as well as complements, the walkability and amenities of the surrounding civic, residential and traditional downtown development.

II. INTENT:

It is the intent of this Development Guide to support the Pine Curve Development Plan and reflect the principles of the Parker 2035 Master Plan, the Transportation Master Plan and the Mainstreet Master Plan. This site is located in the ‘East Downtown Gateway’ character area which is described in the Parker 2035 Master Plan as:

East Downtown Gateway

East Downtown Gateway serves as a transition from the unique mixed use Downtown Core to the suburban residential uses to the east. Development in this area should focus on framing the gateway to the Downtown Core at the intersection of Pine Drive and Mainstreet and then west along Mainstreet to PACE Center Drive. Framing will be through similar massing and building placement to the Downtown Core but with the option for more current architecture. Uses to the east, adjacent to residential neighborhoods, shall be compatible with the scale and massing of adjoining land uses.

East Downtown Gateway will be a ‘mixed-use neighborhood’ that includes uses such as higher density residential, office, government, arts and cultural venues, restaurants, retail, personal services, as well as parks, open space and other public gathering places. Retail uses within East Downtown Gateway should be a mix of uses that focus on serving the needs of the surrounding residents as well as compliment the unique arts, culture, character and experience of the Downtown Core. The total Gross Leasable Area (GLA) for the

commercial/office components within the entire East Downtown Gateway should range from 100,000 to 300,000 square feet combined.

East Downtown Gateway should be compact and walkable with a focus on connecting to the Downtown Core and the Sulphur Gulch Trail. Pine Drive, an arterial road, bisects this district. Any auto oriented uses should respect pedestrian safety and movement. The visible impact of drive-throughs, garage doors and gas canopies should be mitigated from Pine Drive, Mainstreet, pedestrian areas and residential areas.

Transportation Master Plan

Guiding policies from the Plan include:

- Integration - Coordinate land use planning, transportation planning and management, economic initiatives and capital investments to result in a transportation system and land uses that support and enhance each other
- Multi-Modal - Provide a multi-modal transportation system that maximizes mode choice and mobility for all users
- Interconnected - Create an interconnected local and regional roadway network that provides efficient and convenient mobility and access
- Design & Maintenance - Plan, design, build and maintain a high-quality, cost-effective transportation system
- Health - Provide a transportation system that offers opportunities for physical activity and healthy lifestyles
- Safety - Plan, design and implement transportation infrastructure that affords safe travel for all users

Mainstreet Master Plan

Relevant principles from the Plan include:

- *Land uses in this area to be mixed use including retail, office, commercial, civic, educational, institutional, entertainment and residential*
- *2-5 story height and massing adjacent to Pine Drive and framing the Pine Drive and Mainstreet intersection*
- *1 story maximum height adjacent to Parker Vista residential area as a transition to the residential uses*
- *Meaningful architecture that creates a 'sense of place' with excellence in design that will result in a high quality, visually interesting environment*
- *Pedestrian and bicycle friendly – Pine Drive and Mainstreet is an important crossing to connect downtown with development on the Pine Curve site*

III. APPLICATION:

The standards and regulations contained in this Development Guide shall apply to the Property. The standards and regulations contained in this Development Guide may be

divergent from the standards and regulations contained in Chapter 13.04 of the Parker Land Development Ordinance, but not any other Chapter of the Parker Land Development Ordinance. In the event that there is a conflict between the standards and regulations contained in this Development Guide (excluding Chapter 13.04) then the Parker Land Development Ordinance shall control.

IV. CONTROL:

After the adoption of this Development Guide by the Town Council of the Town of Parker, subject to the provisions of Section 13.04.230 of the Parker Land Development Ordinance (Non-Conforming Situations), the standards and regulations contained in this Development Guide, in conjunction with the Town of Parker Land Development Ordinance, as provided herein, shall control development, land use, the location and bulk of all buildings and other structures, existing and future, and shall also apply to the following:

- A. Any new building or other structure, and any parcel of land, or land use;
- B. The use of any existing building, other structure or parcel of land may be changed or extended;
- C. Any existing building or other structure, if such building or other structure is to be enlarged, reconstructed, structurally altered, converted or relocated.
- D. All standards and regulations set forth or referred to in the standards and regulations for the planning area in which such buildings and other structures are located.

V. INCORPORATION OF DEVELOPMENT PLAN:

The Pine Curve development, including the type, location and boundaries of land use areas are shown on the “Pine Curve Development Plan” (hereinafter referred to as “Development Plan”), which Development Plan is hereby incorporated by reference into this Development Guide together with everything shown thereon and all amendments thereto.

VI. CONFLICTS:

Where there is more than one provision within the Development Guide that covers the same subject matter, the provision which is most restrictive or imposes higher standards or requirements shall govern unless determined otherwise by the Community Development Director.

AUTHORITY

I. AUTHORITY

The authority for this Planned Development Guide is Section 13.04.150 (PD-Planned Development) of the Town of Parker Land Development Ordinance.

II. ADOPTION:

The adoption of this Development Guide and Development Plan by ordinance shall evidence the findings and decisions of the Town of Parker Town Council that this Development

Guide and Development Plan for the Pine Curve Planned Development is authorized by the provisions of Section 13.04.150 of the Town of Parker Land Development Ordinance.

III. ENFORCEMENT:

The provisions of the Development Guide relating to the use of land shall run in favor of the Town of Parker and shall be enforceable, at law or in equity, by the Town of Parker without any limitation on any power or authority otherwise granted by law.

SITE DEVELOPMENT PRINCIPLES

Site planning and development of the Property should strive for excellence in land uses, design, architecture, materials as well as promote safe and efficient multi-modal circulation to and between sites within the Property. Development will respect the relationship of the site to surrounding residential neighborhoods, civic and downtown development including existing and proposed buildings, streets, topography and views to the west. The Pine Curve site, as described in the Town's 2035 Master Plan and Mainstreet Master Plan, is a part of downtown and a transition to residential uses to the east and should develop in a manner that reflects a similar character and feel - as an extension of the downtown experience with a transition in development intensity to the east near the existing residential homes. The Pine Curve site acts as the eastern gateway into downtown Parker. Therefore, development should enhance this gateway location as well as integrate with downtown development to the west. As a unique and transitional site, development should also encourage and support diverse commercial land uses, multi-modal access, connectivity and circulation, to ultimately enhance the quality of life for the citizens of Parker. **Exhibit 2 – Conceptual Site Plan shows elements of the site development principles and is conceptual only with final locations of detention, buildings, parking, access types and access drives to be determined through the Site Plan process.**

I. PEDESTRIAN & BICYCLE FACILITIES, STREETScape AND SCREENING:

All development must meet the standards of the Commercial, Industrial and Multifamily Residential Design Standards, as amended, along with the following additional standards.

- A. Planning Areas 1, 2 and 3 shall provide a continuous 18' sidewalk and amenity zone on building facades that feature customer entrances (all buildings greater than 8,000 s.f. and all multi-tenant buildings). *See Figure 1.*
 1. The sidewalk shall include an 10' clear pedestrian walk zone and a 8' amenity/buffer zone with distinctive planter boxes, pedestrian lights, street furniture and trees located within the planter boxes/beds to create a unique pedestrian experience and coordinated look with the downtown Mainstreet streetscape design (Mainstreet in front of the EastMain/Plaza on Main development).
 2. The sidewalks and amenity zones will ensure pedestrian connectivity to and within the development as well as serve as focal points for the pedestrian experience throughout the development.
 3. Amenity zone planter boxes and other amenities should be well planned to enhance storefronts but not obstruct store entries.

- B. The streetscape along the primary entrance drive at Pine Drive and Mainstreet shall match the character of the downtown Mainstreet streetscape design (Mainstreet in front of the EastMain/Plaza on Main development) and include a gateway entry element at each corner. See *Figure 1* examples below.

Figure 1- Enhanced Streetscape & Storefront with 18' Amenity Zone

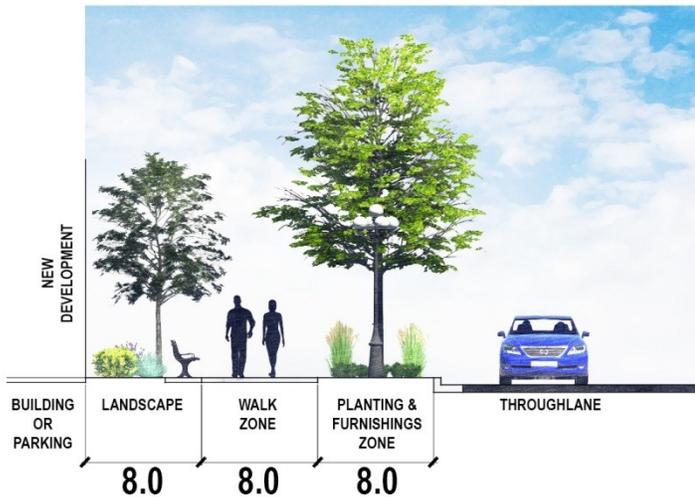


Streetscape Examples – Sidewalk with Buffer/Amenity Zone



- C. In Planning Areas 1, 2 and 3 (PA1-3) single use freestanding buildings less than 8,000 s.f. shall provide continuous pedestrian sidewalks, no less than 10 feet in width, along the full length of a building façade that features customer entrances, abuts public parking areas, abuts outdoor elements and where connecting to adjacent development.
- D. The Pine Drive and Mainstreet streetscapes shall include a minimum eight (8) foot wide detached sidewalk and an eight (8) foot minimum width street tree planting/furnishings zone, including lighting, adjacent to Pine Drive and Mainstreet. See *Figure 2*.

Figure 2 – Streetscape for Pine Drive and Mainstreet



- E. Where the development is adjacent to a public plaza or similar public amenity, the design shall make seamless pedestrian connections to ensure the logical movement of pedestrians and bikes between the development and the public space.
- F. Where a landscape perimeter area occurs between a building frontage and a street right-of-way, it shall be designed to expand the pedestrian realm and activity. Design features to accomplish this may include, but are not limited to, increased walkway widths, areas for outdoor seating or public art.
- G. Development shall incorporate amenities for pedestrians and bicyclists including, but not limited to furniture, seating and bicycle parking.
- H. All elements which are required to be screened shall not be located adjacent to or within direct view of Pine Drive, Mainstreet or the primary access drive.
- I. All landscaping and parking shall comply with the Town of Parker Municipal Code sections 13.06.070–Landscape Regulations and 13.06.050–Off-Street Parking and Internal Circulation as well as any additional provisions in the Pine Curve Development Agreement.

II. MULTIMODAL CIRCULATION:

- A. Circulation and adjacent rights-of-way will be designed in such a manner to reflect the Parker Transportation Master Plan’s recommendations, goals and strategies including a focus on the six policies that the Plan establishes, as amended and described in the Intent section of this document
- B. Vehicular, pedestrian and bicycle circulation will be designed in coordination **with each other and land uses** to minimize conflicts between users.

1. Traffic calming tools ~~shall~~**should** be utilized at all intersections, especially the intersection of Pine Drive and Mainstreet and be designed to ensure safe and comfortable pedestrian and bicycle movement and street crossings. Examples of traffic calming tools that may be appropriate, but should not be limited to, intersection narrowing, bulb-outs, median refuges, colored and patterned crosswalks and lighting.
- C. Pedestrian circulation shall establish safe and logical patterns that facilitate simple, direct and fully interconnected access to existing and planned public roads, **sidewalks**, trails, parks and on-site destinations.
1. Where possible, the primary pedestrian path system shall coincide with internal drives. Diagonal short cuts through public plazas are an exception and encouraged.
- D. Bicycle movement shall be facilitated on Mainstreet and Pine Drive through ~~on-street facilities for more confident riders and~~ parallel wide sidewalks for families and other riders that do not feel comfortable riding on the road. **Adequate right of way shall be provided for future on street bicycle facilities for more confident riders.** Bicycle access shall provide a logical and direct connection from the Sulphur Gulch Regional Trail and adjacent public roads to the on-site bicycle parking areas.
- E. Designs should include special emphasis on bicycle and pedestrian connectivity across the intersection of Pine Drive and Mainstreet and the intersection of Pine Drive and Summerset Lane.



- F. Bicycle access to on-site bicycle parking shall be clear, understandable and minimize conflicts with pedestrians and vehicles.
- G. **Exhibit 3 – Conceptual Bicycle and Pedestrian and Connectivity illustrates design elements and connectivity described in this section to create a multimodal site design. Design and location of detention, buildings, parking, access types, intersections, shared use paths, bike parking, bike dismount areas and access drives to be determined through the Site Plan process.**

III. ARCHITECTURAL STANDARDS – For Planning Areas 1, 2 and 3

A. ARCHITECTURAL ELEMENTS, ARTICULATION, AND BUILDING MATERIALS:

All development must meet the standards of the Commercial, Industrial and Multifamily Residential Design Standards, as amended, along with the following additional standards.

1. Buildings should incorporate enhanced architecture consistent with the importance and high visibility of this extension of downtown and neighborhood destination, as well as

establish a gateway presence at the corner of Mainstreet and Pine Drive as described within this section.

2. Buildings shall be designed to relate directly to and reinforce the pedestrian scale as an extension of the downtown environment through the thoughtful use of change in materials, scale of the materials, architectural details, variations in roof lines, fenestration and the use of awnings or other techniques to break up the vertical and horizontal scale.
3. The configuration of building entrances and overall building form must establish a pedestrian oriented environment – considering pedestrian walkability and connectivity to the rest of the center in order to create a clear shopping stroll/path while composing a vibrant, walkable place.
4. Architectural design should also balance current architectural styles with the long term role of the buildings. Designs should be rich in detail, material, texture, workmanship and color.
5. Architectural details and materials shall be applied to all sides of a structure to create 360 degree architecture. The use of reverse frontage design along Mainstreet, Pine Drive and the primary access drive shall be prohibited. Service doors, utilities and back of the building shall not face Pine Drive, Mainstreet or the primary entrance drive.
6. Building facades in excess of 50 feet width shall be articulated at a minimum every 25 to 40 feet. Articulation may be achieved by changes in the wall plane greater than 3', building columns (structural and/or ornamental), window walls and other architectural elements.
7. Primary entrances shall be clearly identified through the use of architectural design, lighting, materials, urban design and signage.
8. Exterior materials shall present an image of high quality, authenticity and permanence including but not limited to brick, stone, architectural metal and glass.
 - a. Exterior building materials shall not include the following: split shakes, block, painted concrete block, tilt-up concrete panels, corrugated metal siding, EIFS, quick brick, wood lap siding or concrete masonry units (CMU).
 - b. Architectural CMU may be considered for use subject to the following conditions:
 - a. Shall not be plain grey or other color units primarily intended for structural wall use
 - b. Shall have a surface texture intended for architectural exposure including split face, honed or polished (also known as ground-face)
 - c. Shall have integral color and/or aggregate mix intended for architectural exposure
 - d. Joints shall be installed with techniques customarily used for architectural exposure
 - e. CMU shall not exceed a maximum of 20% of any exterior building face – calculated using all four building faces/elevations
9. Reflective glass whose percentage of outdoor, visible light reflectivity is greater than 19% or having a transmittance factor of less than 60% shall not be used. Reflective glazing shall be permissible for limited detail and aesthetic effects.

10. Buildings fronting Mainstreet, Pine Drive or the primary entrance drive shall have minimum window fenestration of 60 percent on the first floor elevation to create a sense of permeability and human scale between the internal activity and the pedestrian activity along the streets and other public spaces within and abutting the site and 30% on upper floors to break up the upper floor mass of the structures. All windows shall be clear, transparent and unblocked by interior improvements to allow visual penetration into the building. The use of opaque or solid spandrel panels shall not be permitted.
 - a. Buildings fronting a parking lot or secondary access drive shall have a minimum window fenestration of 45 percent on the first floor elevation to create a sense of permeability and human scale between the internal activity and the pedestrian and 25 percent on the upper floors to break up the upper floor mass of the structures.
11. Plastic and back-lit awnings are prohibited.

Examples of Architectural Elements and Details

Exterior Articulation, Distinctive Roofline and Defined Entrances & Patio (#2 & #7 above)



High Quality Exterior Materials such as Metal Work or Decorative Art Panels (#9 above)



First and Upper Floor Window & Door Fenestration – (Wraps Corners) (#2-#4 above)



Architectural Awnings, Window Fenestration & Enhanced Sidewalk with patio



IV. ACTIVE SPACES AND GATHERING AREAS For Planning Areas 1, 2 and 3:

Development within this planning area shall create well designed and meaningful active space/gathering areas with the addition of at least two of the following: enhanced storefront amenities such as shaded outdoor seating or refuge areas, sidewalk dining areas, pergolas, a series of smaller yet distinctive sidewalk plazas with art, seating, enhanced landscaping or other amenity/improvement approved through the Site Plan process. The purpose of these public spaces is to increase dwell times and the overall pedestrian experience. *See following examples:*

Small active sidewalk plaza



Enhanced storefront amenities



Distinctive sidewalk with planters



V. SIGNAGE:

All commercial signage shall comply with section 13.09 of the Town of Parker Municipal Code as amended. The combined planning areas (PA1, PA2, PA3, PA4 and PA5) will be considered one ‘parcel’ as defined in Section 13.09 of the Town of Parker Municipal Code, thereby allowing all businesses to advertise on a shared multi-tenant sign.

VI. SUSTAINABLE DESIGN:

The use of LEED and other sustainable design measures are encouraged within all development at the site. Any structure greater than 65,000 s.f. shall achieve a LEED certification level of ‘LEED Certified’ or higher in order to achieve innovative design, quality and sustainable building materials, greater building efficiency and a healthier indoor environment for employees and customers.

VII. PARKING STRUCTURE DESIGN GUIDELINES:

- A. Entrances shall be clearly identified and easily accessible.
- B. Pedestrian entrances shall be located directly on a sidewalk.
- C. Facades shall conceal or effectively minimize the impact of parked cars and light sources from the exterior view for the full height of the structure.
- D. Each building façade oriented to the street or public space shall include architectural variety and scale through the use of such elements as: expressions of building structure; patterns of

windows, doors or other openings that provide surface variation through change in plane; change in color; change in texture; change in material module or pattern; and art, signs or ornament integral with the building.

- E. Parking structures shall incorporate architectural materials and details similar to adjacent buildings.
- F. The incorporation of uses other than parking at the ground (first) floor of the parking structure or wrapped around the parking structure is required where the structure fronts a public street or public right-of-way, public space or the primary entrance drive. Any use incorporated into the ground (first) floor of a parking structure shall be consistent with those uses permitted by right within the Planning Area.

PLANNING AREA 1- Community Commercial

I. PURPOSE:

The purpose of the Commercial Planning Area 1 (PA1) is to provide commercial and retail opportunities for large or medium format anchors and complementary land uses, in stand-alone retail or multi-tenant buildings. This section establishes the standards for the development which will result in sound planning, design and development.

II. USES PERMITTED BY RIGHT:

The following uses shall be permitted in the Commercial Planning Area 1 as a matter of right:

A. OFFICE, RETAIL, INDOOR ENTERTAINMENT AND SERVICE COMMERCIAL:

Retail

A. Convenience, specialty and general retail shopping facilities, including but not limited to:

1. drug stores
2. liquor stores
3. art gallery
4. artisan shops
5. pet shops
6. florists
7. book or stationary store
8. retail food specialty shops which sell food products not intended to be consumed on the premises
9. bakeries
10. toy and game stores
11. bicycle stores
12. music stores
13. craft and hobby stores
14. clothing stores
15. household appliance or furniture stores
16. floor covering, drapery and upholstery stores

17. grocery store

18. Accessory gas station or pump islands to a grocery store

Eating and Drinking Establishments:

- A. Restaurants

- B. Fast food, drive-through or carryout restaurants
- C. Ice cream, coffee shops, delicatessens or similar specialty food shops
- D. Lounge, bar or microbrewery

Personal Services

- A. Convenience service establishments, including but not limited to:
 - 1. barber shops and beauty salons
 - 2. dry cleaners and laundries
 - 3. photo studio
 - 4. Shoe or jewelry repair
 - 5. travel agency
- B. Day care centers

Entertainment, Indoor

- A. Performance arts
- B. Bowling alleys
- C. Skating rinks (both ice and roller)
- D. Arcade, trampoline park or other similar amusement/activity centers

General Office and Professional Services

- A. Business and professional offices
- B. Medical and dental offices and clinics
- C. Banks and other financial service establishments, with or without drive-through facilities

B. GOVERNMENT, CIVIC AND HIGHER EDUCATION:

General Government including, but not limited to:

- A. Recreation centers
- B. Museums
- C. Police department substations

Institution of Higher Education

III. PERMITTED ACCESSORY USES:

Accessory uses and buildings shall comply with the requirements of Section 13.04.170 of the Town's Land Development Ordinance.

IV. SITE DESIGN & DEVELOPMENT:

Development shall utilize the above stated Site Development Principles and result in enhanced site layout and design creating a unique retail environment and pleasant multi-modal pedestrian experience. The site plan shall incorporate an internal access and circulation grid that disperses traffic throughout the site and contributes to the extended downtown experience.

A. MASS AND SCALE in PA1:

1. Minimum Height:

- a. 30' massing height for any building over 50,000 s.f.
- b. 20' massing height for any building under 50,000 s.f.

2. **Maximum Height – Whichever is more restrictive of the following:**

- a. 4 stories or 60' (bulk and massing shall be located closest to Pine Drive)
- b. No structure shall exceed elevation 5,950 feet above sea level. See Exhibit 1.

3. **Building Setbacks:**

- a. Buildings shall line a street at or near the right-of-way or internal drives to the greatest extent possible.
- b. Minimum building setbacks:

Front (Pine Drive):	8'
Rear:	30'
Side (Summerset Lane):	30'
Side (internal):	0'
- c. Minimum parking lot setbacks: 8'

*Cornices, canopies, eaves, fireplaces, wing walls or similar architectural features may extend into a required setback not more than five (5) feet and shall not extend over the property.

B. BUILDING DESIGN:

The following development standards are in addition to Section III Architectural Standards of this document:

- 1. Buildings with a gross floor area greater than 65,000 s.f. and multiple interior commercial retail/accessory users shall locate at least one (1) of the accessory uses in liner space(s) at the front of the building and provide a downtown-oriented commercial storefront appearance. The configuration of building entrances and overall building form must establish a pedestrian oriented environment.
- 2. Drive throughs shall be allowed adjacent to Pine Drive and Summerset Lane.
- 3. **Accessory gas station pump islands and associated kiosk structure design and development shall respect the uniqueness and context of the site as a part of the downtown development pattern.**
 - a. **Pump island and canopy design should appear well organized and should not contribute to visual clutter.**
 - b. **Prototypical gas canopies and associated kiosk structures should be avoided and materials and architecture shall be architecturally integrated reflecting the enhanced architecture and materials of the grocery to which its accessory to and shall respond to the positive elements of the surrounding downtown context**
 - c. **Pump islands vertical columns shall be clad with high quality masonry materials for the entire height of the column**
 - d. **Gas canopy design shall be not have a flat roof and include a finished ceiling**
 - e. **Gas canopy shall include an distinct architectural feature such as in Figure 5**

- f. **Gas canopies shall be screened with enhanced landscaping, landscape berms, low decorative landscape walls or similar to mitigate negative visual impacts from surrounding development**

PLANNING AREA 2 – Downtown Character Extension

I. PURPOSE:

The purpose of the Downtown Character Extension Planning Area 2 (PA2) is to extend the downtown Mainstreet character, form and function by framing the principal entrance drive/corners with architectural massing and establish a building edge with smaller footprint commercial and retail spaces to activate the street. This section further describes the form and function of this planning area and establishes the standards for the development which will result in sound planning, design and development.

II. ENTRY GATEWAY FEATURES:

The primary access entrances into the Pine Curve Property (Pine Drive/Mainstreet and Pine Drive/Summerset Court) shall include a significant and distinctive entry gateway feature(s) that creates a sense of arrival to the property as well as a connection to the downtown area of which it is a part and acts as a terminus. Entry gateway features shall be visually prominent and incorporate vertical architectural details, public art and landscaping/lighting. Development name and tenant signage shall not be considered the entry feature. Entry feature designs shall be reviewed and approved by the Town of Parker as a part of the Site Plan process contained in Chapter 13.06 of the Parker Land Development Ordinance.

III. USES PERMITTED BY RIGHT:

A. GROUND (FIRST) FLOOR ADJACENT TO PRIMARY ACCESS DRIVE USES PERMITTED BY RIGHT:

Retail

- A. Convenience, specialty and general retail shopping facilities, including but not limited to:
1. drug stores
 2. liquor stores
 3. art gallery
 4. artisan shops
 5. pet shops
 6. florists
 7. book or stationary store
 8. retail food specialty shops which sell food products not intended to be consumed on the premises
 9. bakeries
 10. toy and game stores
 11. bicycle stores
 12. music stores
 13. craft and hobby stores
 14. clothing stores

15. household appliance or furniture stores
16. floor covering, drapery and upholstery stores
17. **gas pump islands as an accessory to grocery permitted in PA1 subject to the conditions and standards in section...**

Eating and Drinking Establishments:

- A. Restaurants **with or** without drive throughs. **Drive throughs shall be subject to the conditions and standards in section...**
- B. Ice cream, coffee shops, delicatessens or similar specialty food shops
- C. Lounge, bar or microbrewery

Personal Services

- A. Convenience service establishments, including but not limited to:
 3. barber shops and beauty salons
 4. dry cleaners and laundries
 5. photo studio
 6. Shoe or jewelry repair
 7. travel agency

B. UPPER FLOORS:

General Office and Professional Services

- A. Business and professional offices
- B. Medical and dental offices and clinics

IV. PERMITTED ACCESSORY USES:

Accessory uses and buildings shall comply with the requirements of Section 13.04.170 of the Town's Land Development Ordinance

V. SITE DESIGN & DEVELOPMENT:

Development shall utilize this PD Guide's stated *Site Development Principles* as well as the *Purpose* statement of this planning area to result in enhanced and sensitive site layout and design that maximizes development opportunities yet creates an extension of the Mainstreet and downtown experience. A significant architectural feature, art element, destination commercial use, public gathering place, paseo or similar shall be incorporated at the northern end of the primary access drive. This feature will act as a focal point and visual/physical terminus for the Pine Curve development and contribute to its 'sense of place'.

A. MASS AND SCALE in PA2:

A. Minimum Height:

1. 25' massing height for at least 50% of the building footprint at the intersection of Mainstreet and Pine Drive
2. 20' massing height for all other buildings

B. Maximum Height – Whichever is more restrictive of the following:

1. 4 stories or 60' (bulk and massing shall be located closest to Pine Drive)
2. No structure shall exceed elevation 5,950 feet above sea level. *See Exhibit 1.*

C. Building Setbacks:

1. Buildings shall line a street at or near the right-of-way or internal drives to the greatest extent possible.
2. Maximum building setbacks:

Front (Mainstreet & Pine Drive):	25'
Corner Mainstreet/Pine Drive/Primary Entrance Drive:	25'
Rear:	None
Side:	None
Primary access drive (back of curb)	18'
3. Minimum building setbacks from back of curb:

Front (Mainstreet & Pine Drive):	None
Corner Mainstreet/Pine Drive/Primary Entrance Drive:	None
Rear:	30'
Side:	30'
Side (internal)	0'

*Cornices, canopies, eaves, fireplaces, wing walls or similar architectural features may extend into a required setback not more than five (5) feet and shall not extend over the property.

B. BUILDING DESIGN:

The following development standards are in addition to *Section III Architectural Standards* of this document:

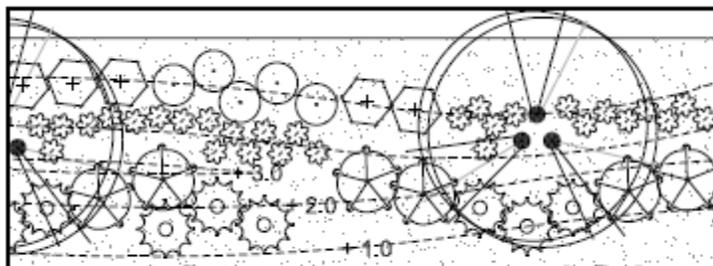
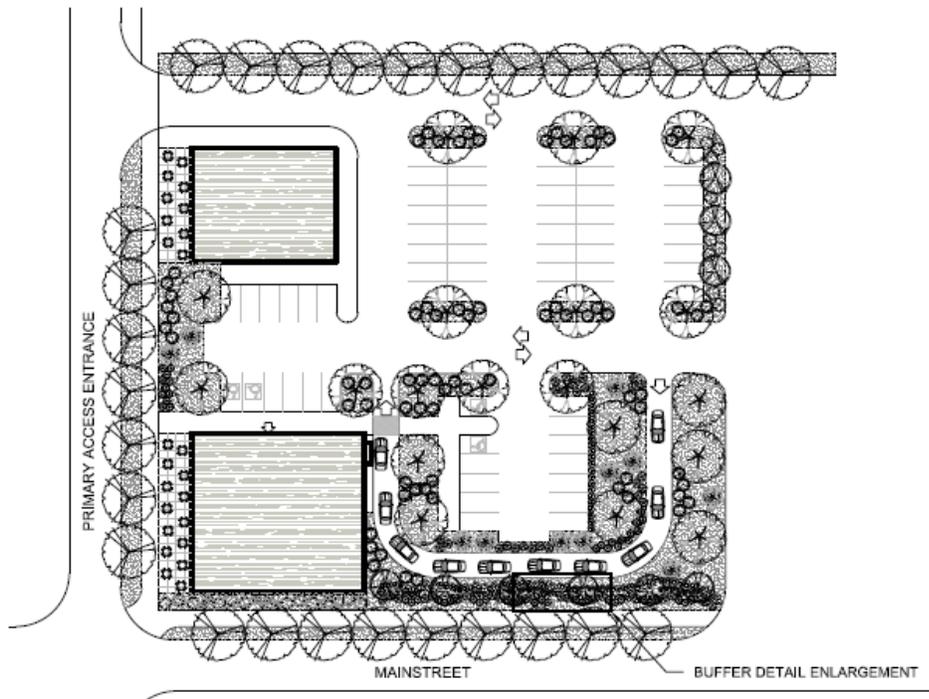
1. ~~Drive throughs shall be prohibited in Planning Area 2~~ **A maximum of one drive through shall be permitted in PA2.**
2. Buildings shall frame the primary entrance drive creating an extension of the **downtown and** Mainstreet character with a clearly defined street, building and sidewalk edge resulting in **a safe,** inviting and attractive public realm.
3. **Buildings shall be oriented with a customer entrance facing the primary entrance drive.**
4. **Building design elements shall be architecturally integrated with other structures in the Pine Curve commercial development as well as downtown and include all building elevations (Figure 2).**
5. ~~3.~~ Buildings and ground floor facades shall utilize terminus views at the end of the primary entrance drive at Pine Drive and Mainstreet, with architectural ornamentation or iconic architectural massing and details such as a tower, raised or distinctive peaked roof forms, arcades, outdoor patios/plazas, or other distinctive elements as approved through the Site Plan process. The purpose of these design elements is to provide visual interest, increase community character and identity, and add value to the place making of this destination.

6. Locate active uses and design elements in locations where they support and interact with the sidewalk and amenity zone such as window placement onto street or restaurant patios.
7. Buildings shall provide transparent windows facing the street and primary entrance drive to ensure visibility and support active ground floor activity.
8. Parking and vehicular circulation between the street or primary entrance drive and the building is not permitted.
9. Auto oriented and drive through uses shall respond to the positive elements of the surrounding downtown context through such means as building height, orientation, setbacks, enhanced landscaping and high quality architectural styles
10. Drive through facilities shall demonstrate building massing and articulation which improves its context and is responsive to pedestrian scale and the public realm.
 - a. Drive-up and drive through facilities with menu boards, order stations, pick-up windows, bank teller windows, money machines, etc. shall be located on the side or rear of a building and away from Pine Drive, Mainstreet and the primary entrance drive, sidewalks, amenity zones or residential uses (Figure 1).
 - b. Incorporate canopies or similar design elements for stacking lanes associated with the pick-up window area at an appropriate scale into the massing and architectural expression of the building (Figure 4).
 - c. Drive through queing/stacking lanes may be permitted where parking is allowed along Mainstreet when screened with a landscaped berm and decorative landscape walls that are integrated into the Pine Curve's overall landscape design as illustrated in Figure 1. Decorative landscape walls shall be designed to include details such as curving, overlapping or breaks to create visual interest, variety and screening yet blend into the overall landscape plan.
 - i. Queing and stacking lanes cannot not be closer to the street or the primary entrance drive than the building.
 - ii. Queing and stacking lanes cannot be located between the building and Mainstreet/Pine Drive or between the building and the primary entrance drive.
 - d. Corner sites shall acknowledge and support both street fronts with significant architectural detail, enhanced landscaping and features to emphasize the downtown character which contributes to the streetscape and public realm (Figure 3).
11. Prototypical buildings should be avoided. Instead, appropriate building types and expressions should address the uniqueness of the downtown context of Pine Curve.
12. Accessory gas station pump islands and associated kiosk structure design and development shall respect the uniqueness and context of the site as a part of the downtown development pattern.
 - a. Pump island and canopy design should appear well organized and should not contribute to visual clutter.
 - b. Prototypical gas canopies and associated kiosk structures should be avoided and materials and architecture shall be architecturally integrated reflecting the

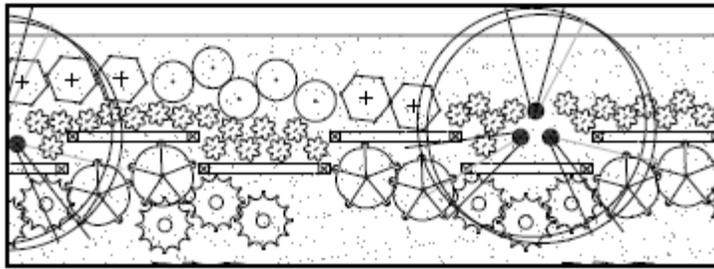
enhanced architecture and materials of the grocery to which its accessory to and shall respond to the positive elements of the surrounding downtown context.

- c. Pump islands vertical columns shall be clad with high quality masonry materials for the entire height of the column.
- d. Gas canopy design shall be not have a flat roof and include a finished ceiling.
- e. Gas canopy shall include an distinct architectural feature such as in Figure 5.
- f. Gas canopies shall be screened with enhanced landscaping, landscape berms, low decorative landscape walls or similar to mitigate negative visual impacts from surrounding development.
- g. All display items for sale including, but not limited to, propane rentals, ice and soda machines, movie rentals, money machines and general merchandise displays should occur inside the building.

Figure 1 – Drive through Illustration; Screening of Queing/Stacking Lanes through Bermed/Landscaped Buffer



BUFFER ALTERNATIVE 1 : 2-3' BERM WITH LANDSCAPING



BUFFER ALTERNATIVE 2 : STAGGERED WALLS WITH LANDSCAPE

Figure 2 – Architectural Integration with Surrounding Downtown Context



The architectural details of these drive throughs, including a gas station canopy, responds positively to its neighborhood context using an appropriate building style that includes all building elevations

Figure 3 – Landscaped Wall Screening & Enhanced Landscaped Corner



Low landscape wall & ample landscaping enhances the front streetscape while still allowing views into the site

Figure 4 – Incorporated Canopies and Articulation Add to the Building's Expression



Figure 5 – Example of a distinct architectural element



PLANNING AREA 3 – Commercial East

I. PURPOSE:

The purpose of the Commercial East Planning Area (PA3) is to provide an area for a mix of neighborhood serving uses including retail, office, medical and service uses with an option for age restricted housing. Development in this planning area shall incorporate sensitive site design and layout through thoughtful and compatible building placement, form and massing to create an appropriate transition from the adjacent residential neighborhood and public realm.

II. USES PERMITTED BY RIGHT:

The following uses shall be permitted in the Planning Area 3 as a matter of right:

A. OFFICE, RETAIL, INDOOR ENTERTAINMENT AND SERVICE COMMERCIAL:

Retail

A. Convenience, specialty and general retail shopping facilities without drive-throughs, including but not limited to:

1. drug stores
2. liquor stores
3. art gallery
4. artisan shops
5. pet shops
6. florists
7. book or stationary store
8. retail food specialty shops which sell food products not intended to be consumed on the premises
9. bakeries
10. toy and game stores
11. bicycle stores
12. music stores
13. craft and hobby stores
14. clothing stores
15. household appliance or furniture stores
16. floor covering, drapery and upholstery stores

Eating and Drinking Establishments:

- A. Restaurants without drive throughs
- B. Ice cream, coffee shops, delicatessens or similar specialty food shops
- C. Lounge, bar or microbrewery

Personal Services

- A. Convenience service establishments, including but not limited to:
 1. barber shops and beauty salons
 2. dry cleaners and laundries
 3. photo studio

4. Shoe or jewelry repair
 5. travel agency
- B. Day care centers

General Office and Professional Services

- A. Business and professional offices
- B. Medical and dental offices and clinics
- C. Banks and other financial service establishments, without drive-through facilities

B. GOVERNMENT, CIVIC AND HIGHER EDUCATION

General Government

- A. Recreation centers
- B. Museums
- C. Police department substations

Institution of Higher Education

C. AGE RESTRICTED MULTI-FAMILY HOUSING

Age restricted multi-family housing which is intended and operated for occupancy by persons 55years of age or older

III. PERMITTED ACCESSORY USES:

Accessory uses and buildings shall comply with the requirements of Section 13.04.170 of the Town's Land Development Ordinance

IV. SITE DESIGN & DEVELOPMENT:

Development shall utilize the above stated *Site Development Principles* to result in enhanced and contextual site design that balances development opportunities with an appropriate transition to the adjacent Parker Vista neighborhood. Transitioning shall be accomplished through well designed and compatible building form, massing and urban design. The preservation of views from Parker Vista homes that are adjacent to PA3is a goal of this PD and will be a consideration in zoning, site plan standards and urban design.

A. MASS AND SCALE in PA3:

B. Minimum Height:

1. 30' massing height for any building over 50,000 s.f.
2. 20' massing height for any building under 50,000 s.f.

C. Maximum Height – Whichever is more restrictive of the following:

1. 4 stories or 60' (bulk and massing shall be located closest to Pine Drive)
2. No structure shall exceed elevation 5,950 feet above sea level. *See Exhibit 1.*

D. Building Setbacks:

1. Buildings shall line a street at or near the right-of-way or internal drives to the greatest extent possible.
2. Maximum building setbacks:

Front (from back of curb on Mainstreet):	36'
Rear:	None
Side:	None
3. Minimum building setbacks:

Front (from back of curb on Mainstreet):	24'
Corner Mainstreet/Pine Drive/Primary Entrance Drive:	None
Rear:	30'
Side:	30'
Side (internal) _	0'

*Cornices, canopies, eaves, fireplaces, wing walls or similar architectural features may extend into a required setback not more than five (5) feet and shall not extend over the property.

B. BUILDING DESIGN:

The following development standards are in addition to *Section III Architectural Standards* of this document:

1. Building placement shall provide horizontal breaks of no less than 30 feet (distance) between buildings to disperse development and maintain view corridors from the adjacent Parker Vista residential neighborhood to the north/northwest.
2. Drive throughs shall not be allowed in PA3.
3. Buildings and landscape features should be oriented to frame views of buildings and the western mountain vistas where possible.
4. Commercial outdoor patios and decks shall not extend closer to the east property line with Parker Vista than the existing building it serves.

PLANNING AREA 4 – RESIDENTIAL, COMMERCIAL OUTDOOR EVENT SPACE & BUFFER

I. PURPOSE:

The purpose of Planning Area 4 (PA4) is to allow for limited commercial activity and to provide a well-defined buffer to the Parker Vista residential neighborhood along the eastern property line to ensure sensitive and balanced use of this planning area. A portion of PA4 may accommodate outdoor event space or limited office that will be considered accessory to the events venue in Planning Area 5. The existing single family residence located on-site may continue in a residential use such as a caretaker's residence and may include accessory (low activity) uses to the event space such as offices as long as the conversion complies with all applicable Town of Parker Municipal Code. The remainder of PA4 shall be an irrigated landscaped buffer required along the eastern property line to transition from the residential use or outdoor event space to the adjacent Parker Vista residential neighborhood to the east.

II. USES PERMITTED BY RIGHT:

The following uses shall be permitted in Planning Area 4 as a matter of right:

- A. One single family residential dwelling not to exceed 2900 s.f.
 - a. Any building expansion shall be located solely to the west of the existing structure, including associated parking and shall not encroach into the required buffer.
 - b. Accessory use to the principal residential use such as home office is permitted
- B. Landscaped garden, vineyard or horticultural display
- C. Outdoor event space for a maximum of 125 people including the following:
 - a. Concrete, stone or block patio not to exceed 500 s.f.
 - b. Gazebo, Pergola or similar structure not to exceed 400 s.f.
 - c. Temporary tent¹

III. PERMITTED ACCESSORY USES:

- A. Trails and walking paths – soft or hard surface
- B. Outdoor art
- C. Decorative fences and walls with a maximum height of four (4) feet
- D. Hard surface parking for the existing single-family dwelling not to exceed three (3) driveway parking spaces provided it does not encroach on the required buffer.

Accessory uses and buildings shall comply with the requirements of Section 13.04.170 of the Town's Land Development Ordinance

¹ Temporary tents may be erected for a period not exceeding three (3) days to permit set-up, the event and break-down/removal

IV. ARCHITECTURAL STANDARDS

A. ARCHITECTURAL ELEMENTS, ARTICULATION AND BUILDING MATERIALS:

All development must meet the standards of the Commercial, Industrial and Multifamily Residential Design Standards, as amended, along with the following additional standards.

1. Buildings should incorporate enhanced residential architecture to ensure compatibility with the adjacent residential neighborhood.
2. Intense, bright, black or fluorescent colors shall not be used as the predominant color on any wall or roof of any primary or accessory structure.
3. Roof materials shall be asphalt shingles, clay or concrete tile, terne metal, copper, slate or other prefinished architectural metal.
4. Exterior building materials shall be limited to: brick, stone, wood lap siding or stucco.
5. EIFS is a prohibited exterior finish material/system.

V. MASS AND SCALE in PA4:

A. **Maximum Structure Height:** 1 story or 15'

B. **Minimum Improvement Setback:**

- a. East property line
 - i. Existing house – 55'
 - ii. 65' from east property line for all new improvements:
- b. All other property lines – 20':

*Cornices, canopies, eaves, fireplaces, wing walls or similar architectural features may extend into a required setback not more than five (5) feet and shall not extend over the property.

c.

C. **Minimum Parking Setback:**

- a. East property line – 65'
- b. All other property lines – 20':

C. **Required Buffer:** 55' from east property line

VI. OTHER SITE DEVELOPMENT STANDARDS:

Development in PA4, a limited residential and commercial activity zone, shall also utilize the stated *Site Development Principles* of this PD Guide as well as the requirements of this section to result in sensitive site layout and design and create an appropriate transition and view corridor consideration to the adjacent Parker Vista neighborhood. Transitioning shall be accomplished through appropriate and compatible building placement, form and massing. Views from Parker Vista homes that back to PA4 will be a consideration in all site designs. All development must meet the following additional standards:

- A. **Lighting:** Exterior site lighting shall be limited to low level illumination such as bollards or ground lighting having a maximum height of 42-inches above grade. Lighting shall be extinguished within one (1) hour of the end of the hours of operation and remain extinguished until one (1) hour prior to commencement of the hours of operation.
- B. **Hours of Operation:** Hours of operation shall be from 8 AM to 8 PM Sunday through Thursday and 8 AM to 10 PM Friday and Saturday.
- C. **Sound:** All activity and events shall meet *Section 6.03-Noise Regulation* of the Town of Parker Municipal Code.
- D. **Buffer:** Required buffers shall comply with *Section 13.02.010-Definitions* of the Town of Parker Municipal Code. Buffers shall be passive in use and constitute no-build zones that incorporate landscaping including a mix of coniferous and deciduous trees, shrubs, and ground cover.
 - a. A 55' setback buffer shall run along the easterly property line/boundary of PA4 and shall provide irrigated landscaping with trees, shrubs and ground cover.
 - b. A 20' wide buffer shall run along the entire westerly property line/boundary of PA4 and provide irrigated landscaping with trees, shrubs and ground cover.
- E. **Site Design:**
 - a. Vehicular and pedestrian access to PA4 and its ancillary uses should be through the western portion of PA5 (events venue). Access and circulation shall have a logical connection to the PA5 events venue access drive, sidewalks and parking lot including pedestrian walkways between the venues.
 - b. Parking shall be located on the westerly side of buildings, thereby screening them from view by residential areas to the greatest extent possible and conform to Town standards.
- F. **Screening:** Loading areas, drop off facilities, trash enclosures, utility meters and utility equipment shall be screened and fully integrated into the overall design of the building and landscaping.
 - a. Exterior screening walls shall be decorative in nature and integrate with the existing building architecture
 - b. All rooftop mechanical equipment and vents greater than eight (8) inches in diameter shall be screened. Screening may be done either with an extended parapet wall or a free-standing screen wall of a material and color matching the existing building. Screens shall be at least as tall as the equipment they hide.

PLANNING AREA 5 – Events Venue, Limited Commercial & Buffer

I. PURPOSE:

The purpose of Planning Area 5 (PA5) is to allow for previously approved limited commercial activity and provide a well-defined buffer for the adjacent Parker Vista residential neighborhood along the eastern property/boundary line to ensure sensitive site design of this planning area. PA5 shall accommodate the existing events venue and shall include an irrigated landscaped buffer required along the eastern property/boundary line to transition the facility to the adjacent Parker Vista residential neighborhood to the east.

II. USES PERMITTED BY RIGHT:

The following uses shall be permitted in Planning Area 5 as a matter of right:

- A. Events facility/venue
 - a. The facility will maintain its current maximum occupancy of 250 people and 50 on-site parking spaces unless the building is expanded in which any expansion shall comply with this PD Guide and all applicable Town of Parker Municipal Code for occupancy capacity and parking.
- B. General office – without drive through
 - a. Business and professional offices
 - b. Medical and dental offices and clinics
- C. Restaurant – no drive through

III. PERMITTED ACCESSORY USES:

- A. Trails and walking paths – soft or hard surface
 - B. Outdoor art
 - C. Patios, terraces and ground floor decks
 - D. Gazebos, pergolas and shade structures
 - E. Decorative fences and walls not to exceed the height of the current walls and fences
- Accessory uses and buildings shall comply with the requirements of Section 13.04.170 of the Town's Land Development Ordinance

IV. ARCHITECTURAL STANDARDS

A. ARCHITECTURAL ELEMENTS, ARTICULATION AND BUILDING MATERIALS:

All development must meet the standards of the Commercial, Industrial and Multifamily Residential Design Standards, as amended, along with the following additional standards.

1. Buildings should incorporate enhanced architecture that transitions from the adjacent residential neighborhood to this limited commercial planning area.
2. Buildings shall be designed to reinforce the pedestrian scale through the thoughtful use of change in materials, scale of the materials, architectural details, variations in roof lines and fenestration.

3. Intense, bright, black or fluorescent colors shall not be used as the predominant color on any wall or roof of any primary or accessory structure.
4. Roof materials shall be asphalt shingles, clay or concrete tile, terne metal, copper, slate or other prefinished architectural metal.
5. Exterior building materials shall transition from the adjacent residential character to the commercial events venue and not include the following: split shakes, corrugated metal, smooth-faced gray concrete block, quick brick or CMU.
6. EIFS is a prohibited exterior finish material/system.
7. Plastic and back-lit awnings are prohibited.

V. MASS AND SCALE:

- | | |
|---|-----------------------------|
| A. Maximum Structure Height: | 1 story or 20' |
| B. Minimum Improvement Setback²: | |
| a. East property line | |
| i. Existing facility – 90' | |
| ii. 90' from east property line for new improvements: | |
| b. All other property lines – 20': | |
| C. Maximum Building Size: | 15,000 s.f. |
| D. Required Buffer: | 55' from east property line |

* Cornices, canopies, eaves, fireplaces, wing walls or similar architectural features may extend into a required setback not more than five (5) feet and shall not extend over the property.

VI. OTHER SITE DEVELOPMENT STANDARDS:

Development in PA5, a limited commercial activity zone, shall also utilize the stated *Site Development Principles* of this PD Guide as well as the requirements of this section to result in enhanced and sensitive site layout and design and create an appropriate transition and consideration to the adjacent Parker Vista neighborhood. Transitioning shall be accomplished through appropriate and compatible building placement, form and massing. Views from Parker Vista homes that back to PA5 will be a consideration in site designs. All development must meet the following additional standards:

² Setbacks shall be field verified

- A. **Lighting:** Exterior site lighting shall be limited to low level illumination such as bollards or ground lighting having a maximum height of 42-inches above grade. Lighting shall be extinguished within one (1) hour of the end of the hours of operation and remain extinguished until one (1) hour prior to commencement of the hours of operation.
- B. **Hours of Operation:** Hours of operation shall be from 8 AM to 8 PM Sunday through Thursday and 8 AM to 10 PM Friday and Saturday.
- C. **Sound:** All activity and events shall meet *Section 6.03-Noise Regulation* of the Town of Parker Municipal Code.
- D. **Buffer:** Required buffers shall comply with *Section 13.02.010-Definitions* of the Town of Parker Municipal Code. Buffers shall be no-build zones that incorporate landscaping including a mix of coniferous and deciduous trees, shrubs, ground cover and remain passive in use.
- a. A 55' setback buffer shall run along the easterly property line/boundary of PA5 and shall provide irrigated landscaping with trees, shrubs and ground cover.
 - b. A 20' wide landscape buffer shall run along the entire westerly property line/boundary of PA5 and provide irrigated landscaping with trees, shrubs and ground cover.
 - i. A separation/screen wall shall be maintained along the western boundary of PA5 between the Villa Parker events venue and the commercial center.
- E. **Site Design:**
- a. Commercial outdoor patios and decks shall not extend closer to the east property line than the existing building it serves.
 - b. Vehicle and pedestrian access and circulation should utilize the western portion of the PA5 and have a logical connection to PA4 including the access drive, sidewalks and parking lot with pedestrian walkways between the venues.
 - c. Parking shall be located on the westerly side of buildings, thereby screening them from view by residential areas to the greatest extent possible and shall conform to Town standards.
- F. **Screening:**
4. Loading areas, drop off facilities, trash enclosures, utility meters and utility equipment shall be screened and fully integrated into the overall design of the building and landscaping.
 - a. Exterior screening walls shall be decorative in nature and integrate with the existing building architecture.
 - b. All rooftop mechanical equipment and vents greater than eight (8) inches in diameter shall be screened. Screening may be done either with an extended parapet wall or a free-standing screen wall of a material and color matching the existing building. Screens shall be at least as tall as the equipment they hide.

EXHIBIT 1 – VIEW ANALYSIS

Illustrates the height and view analysis from Parker Vista homes located adjacent to the site that was used to establish maximum building elevations/heights for the different planning areas.

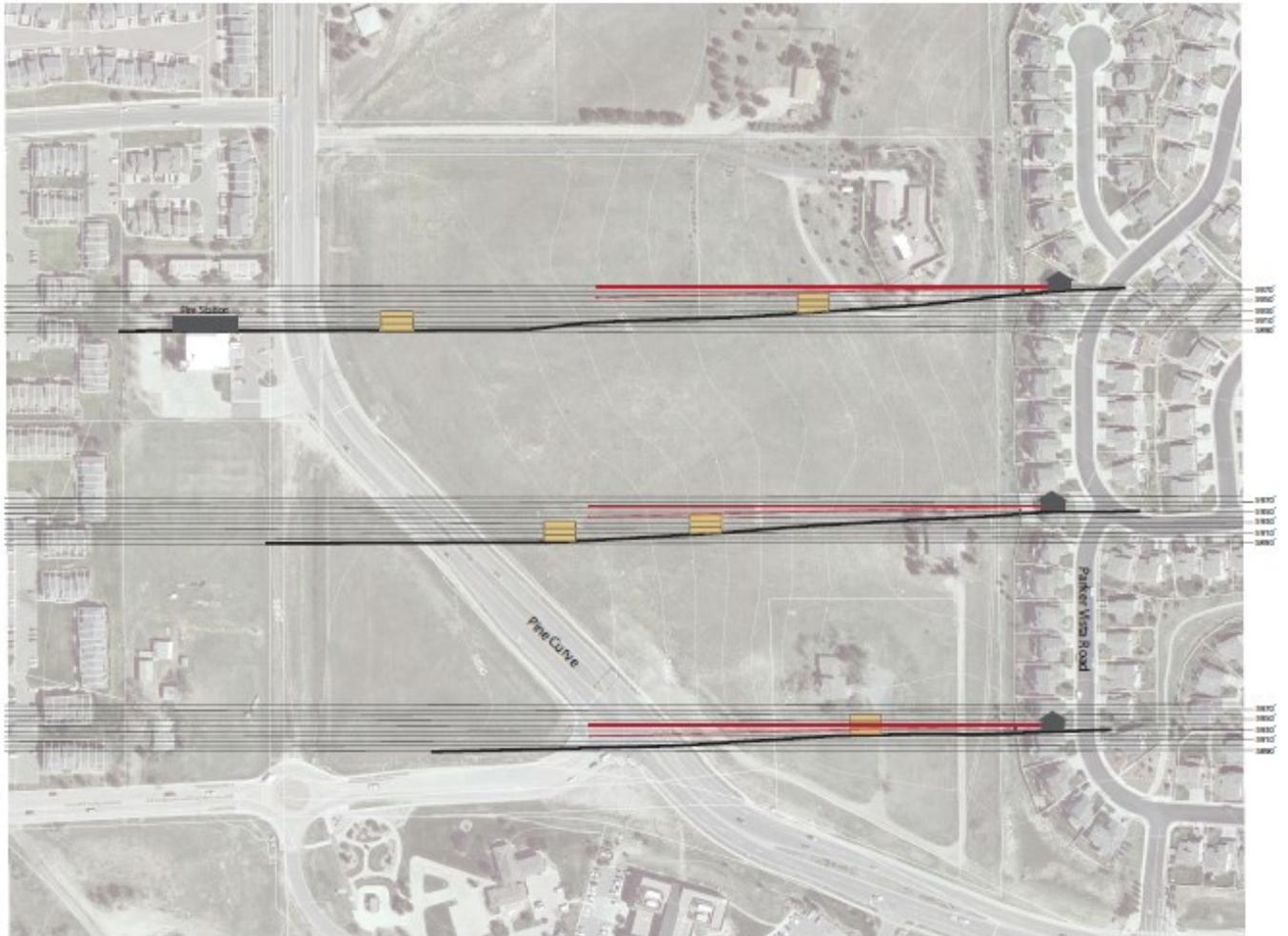
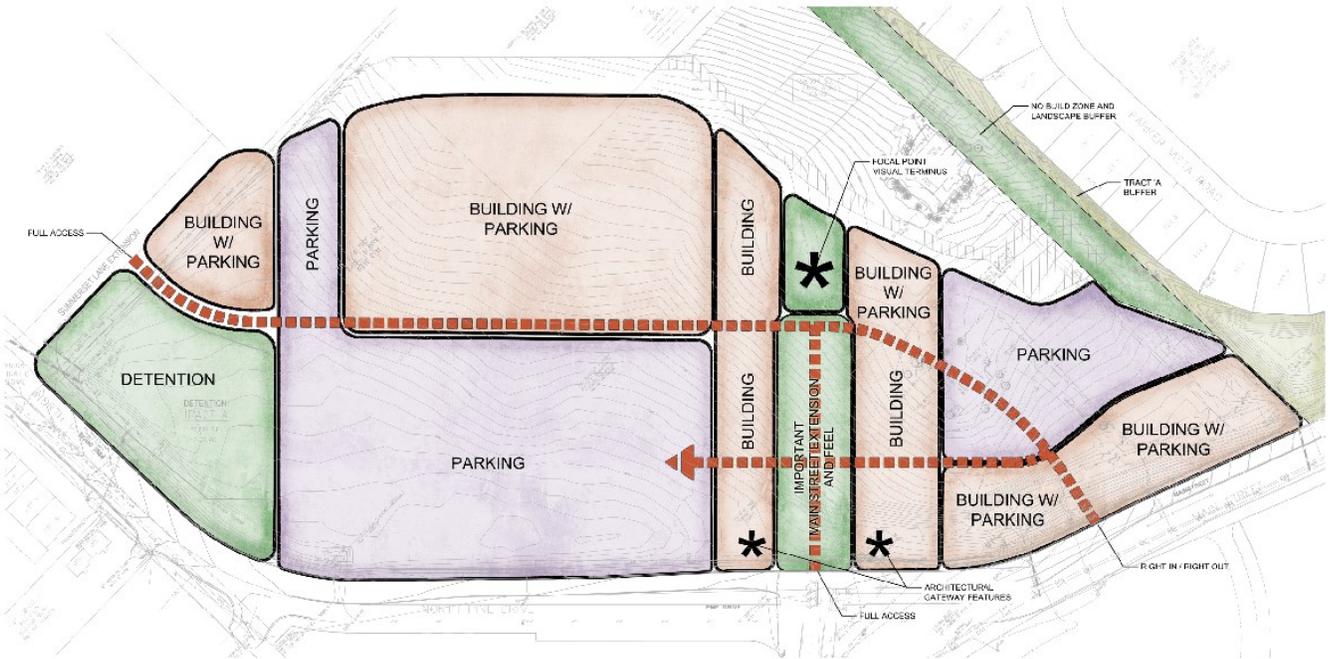


EXHIBIT 2 – CONCEPTUAL SITE PLAN

Diagram is conceptual only. Locations of detention, buildings, parking, access types and access drives will be determined through the Site Plan process as required in the Land Development Ordinance.

Large Format Anchor



Pine Curve Property

Conceptual Plan

3.09.2016

Provided For:
The Town of Parker
20130 E. Main Street
Parker, CO 80138

Provided By:
PCS Group Inc.
400 S. Independence Plaza
100-11601 Street
Denver, CO 80202
303.531.4905



EXHIBIT 3 – CONCEPTUAL PEDESTRIAN AND BICYCLE CIRCULATION - PLACEHOLDER